

DEPARTMENT OF FOREIGN AFFAIRS

BIDS AND AWARDS COMMITTEE
2330 Roxas Boulevard, Pasay City
Tel. Nos. 834-4823; Fax No. 831-9584
Email: bac.secretariat@dfa.gov.ph

SUPPLEMENTAL / BID BULLETIN No. 1

Project : **Renovation Works of the DFA Cottage in Baguio City**
Reference No. : PB-IP-01a-2017
ABC : PhP 2,500,000.00
Date : 29 September 2017

This supplemental/bid bulletin is issued to provide information to the prospective proponents/bidders on the following changes to the Bidding Documents:

I. Technical Specifications (Section VI and Section VII)

The Technical Specifications (Section VI and Section VII) of the Bidding Documents is superseded by this Supplemental/Bid Bulletin No. 1.

The Bidding Documents is amended accordingly.

For the information and guidance of all concerned.

(Sgd)
MARIA TERESA C. LEPATAN
BAC Chairperson

Section VI. Specification

Terms of Reference Renovation of Works of Baguio Cottage

I.	Background	
	The DFA Baguio Cottage is located at the Leonard Wood road, Cabinet Hill-Teachers Camp, Baguio City with a lot area of 1,194 sq.m. and a building area of 598.93 sq.m. Renovation works are needed to preserve the cottage.	
II.	Objective	
	To repair and rehabilitate the existing DFA Cottage building.	
III.	Scope of Work	Statement of Compliance
	1. Civil Works	
	a. Mobilization, clearing and cleaning of site;	
	b. Exterior painting works shall include but not be limited to;	
	1. Repainting of all existing surfaces	
2. Repainting of eaves, pipes and gutters		
3. Repairs to areas of the building where cracks or damages to surfaces have occurred		
4. Application of clear acrylic solution on all stone cladding surfaces		
c. Interior painting works shall include but not be limited to;		
1. Repainting of all existing surfaces		
2. Masonry works on cracked or damaged concrete surfaces		
3. Repainting and repair of ceiling and drop ceiling		
4. Application of clear acrylic solution on all stone cladding surfaces		
d. Rehabilitation of the kitchen area, supply and installation of new counter table tops, cabinets, hanging cabinets, kitchen exhaust fans and new dual-tub kitchen sink.		

	e. Repair of all doors and door fixtures such as door jambs and hinges.	
	f. Installation of a new partition wall at the living room, complete with a door and sliding windows for the new conference room	
	g. Installation of a drop ceiling at the living room and the new conference room	
	h. Replacement of all door knobs complete with accessories	
	i. Replacement of all door knobs complete with accessories	
	j. Installation of a new partition wall at the living room, complete with a door and sliding windows for the new conference room	
	k. Installation of a drop ceiling at the living room and the new conference room	
	l. Supply and installation of new floor tiles at the living room.	
	m. Installation of barbed wires with metal support frame for the existing perimeter fence.	
	n. Construction of a new boundary fence, between the DFA and DND properties, made of concrete wall, cyclone wire and galvanized iron pipe frames. as specified in Section VII (Drawings).	
	o. Installation of barbed wires with metal support frame on all perimeter fence as specified in Section VII (Drawings).	
	p. Repair of aluminum sliding doors located at veranda	
	q. Installation of ceiling access door panel replacing old ceiling access panels/boards	
	2. Plumbing Works	
	a. Replacement of all existing faucets, lavatories and water closets complete with fittings and accessories.	
	b. Installation of rain shower heads complete with fittings and accessories in all bathrooms.	

	c. Cleaning of gutters and downspouts.	
	d. Repair and un-clogging of downspouts and drains.	
	e. Repair of damaged and dilapidated water pipes.	
	3. Electrical Works	
	a. Supply and installation of a new chandelier and other lighting fixtures using LED bulbs and lamps. Includes installation of new wiring, electrical pipes and moulding.	
	b. Supply and installation of a new heavy duty range hood for the kitchen.	
	c. Repair and managing of exposed wiring, including patching/covering of exposed electrical wirings.	
	CONTRACTOR'S OBLIGATIONS The Contractor shall:	
	1. Provide all necessary materials, labor, and tools for the complete repair and renovation of the building in accordance with the plans and specifications in Section VII (Drawings) and Bill of Quantities.	
	2. Ensure that skilled and experienced craftsmen will undertake the repair and renovation to assure first class quality, appearance and durability of the completed work.	
	3. Conduct an ocular inspection of the site at the Contractor's expense, prior to the submission of bids.	
	4. Secure and pay the necessary permits, licenses, clearances and other documents as required by the National Building Code and other related laws, rules and regulations, and bear all costs, duties, fees and other charges thereof.	
	5. Comply with the Minimum specifications, requirements and standards found in Annex B.	
	6. Provide Licensed Engineer or Architect with at least five (5) years of experience to supervise daily the work progress at the site and submit weekly progress/accomplishment reports with photographs to the DFA- Engineering Section, copy furnished the on-site representative. The said Engineer or Architect will be the Safety Officer to check, implement and monitor safety precautions during construction.	
	7. Provide minimum of One (1) copy each of hard and soft copies of complete as-built plans, bill of materials, maintenance manual and procedures.	

	8. Provide a project construction schedule, e.g. Project Evaluation and Review Technique (PERT) and Critical Path Method (CPM), to the DFA-Engineering Section.	
	9. Provide necessary protection, including sheet piles, if needed, against harm or damage to adjacent properties, persons, shrubs, trees, lawns, structures, and utilities therein.	
	10. Conduct together with the End-user, inspection for punch listing of work not conforming to contract specifications, if any, prior to turnover to the Department and issuance of Certificate of Acceptance.	
	11. Provide to all project personnel, present on site, Personal Protection Equipment (PPE), to include but not limited to, safety shoes, hardhat, gloves, goggles, harness, reflectorized vest, boots, identification cards, and uniforms for each personnel during the construction period to ensure safety at all times.	
	12. Provide sub-meter base for the electric and water consumption of the project, in coordination with the Office of Asset and Management Support Services (OAMSS)-Engineering Section, for tapping from the property's utility sources. Pay the electric and water consumption incurred during the project as billed by the Department, based on the reading of the sub-meters.	
	13. Supply materials and labor deemed necessary to complete the works that may not be specifically mentioned in the specifications, drawings or in other contract documents, without extra cost to the Department. Such materials shall be of the highest quality available, and installed or applied to the satisfaction of the End-user.	
	14. Ensure that the permanent connections to the local utility lines for water, drainage, electrical and sewer lines including materials, equipment, facilities, fees, and/or work are in proper working order.	
	15. Be liable for any direct or indirect loss or damage to the DFA as a result of gross negligence or willful misconduct on the part of the Contractor, or on the part of any person or firm acting on behalf of the Contractor, in carrying the project. The Contractor shall be responsible for the repair, restoration and the charges, fees or costs incurred due to damages or loss.	
	16. Comply with and strictly observe all laws on workers' health and safety, welfare, compensation for injuries.	
	17. Comply with all labor laws, rules and regulations, including Department of Labor and Employment (DOLE) Department Order No. 18-A series of 2011.	

	18. Comply with the Project Requirements under Section 25.2 (b) (viii) of the 2016 revised IRR of RA 9184 on procurement of infrastructure projects.	
	19. Comply with the Technical Specifications, Drawings and Bill of Quantities described herein.	
	20. Provide five-year warranty against defective materials and workmanship.	
	21. Submit to OAMSS - Engineering Section the schedule of all hardware, complete with specifications, to be purchased by the Contractor before ordering them.	
	22. Dispose all waste at the end of the day to prevent fire hazards.	
	23. Remove and dispose, upon completion of work, all staging, equipment, scaffoldings, paint containers, scraps and debris.	
	24. Remove paint drips, stains, oils, plaster-drop splatters on adjacent surfaces and clean the entire project site to the satisfaction of OAMSS.	
	Qualifications The Contractor shall submit a company profile showing at least five (5) years of experience in the field of building construction and a good track record in both government and private sector projects.	
	Warranty Security The Contractor shall provide a warranty security against defects in the workmanship for a period of one (1) year starting from project completion up to final acceptance.	
	Schedule of Requirements The project duration is for ninety (90) calendar days upon receipt by the Contractor of the Notice to Proceed (NTP)	
	Terms of Payment 1. Progress billing and payment shall be as follows: a. 15% of the Contract Price: Advance Payment (mobilization cost) b. 35% of the Contract Price: Upon complete delivery of materials c. 40% of the Contract Price: Upon completion and acceptance of the Project. Must be accompanied by As-built plans and Bill of Materials. d. 10% of the Contract Price: Retention Fund	

	<p>The list of the documentary requirements for payment will be provided upon the signing of the contract by the Office of Financial Management Services-Financial Resource Management Division (OFMS-FRMD). All payments shall be inclusive of Value-Added Tax (VAT) and other lawful charges.</p>	
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Note:

Bidder must state compliance to each of the provisions in the Terms of Reference/Technical Specifications, as well as to the Schedule to Requirements. The **STATEMENT OF COMPLIANCE** must be signed by the authorized representative of the Bidder, with proof of authority to sign and submit the bid for and in behalf of the Bidder concerned. If the Bidder is a joint venture, the representative must have authority to sign for and in behalf of the partners to the joint venture.

Conformé:

[Signature/s]

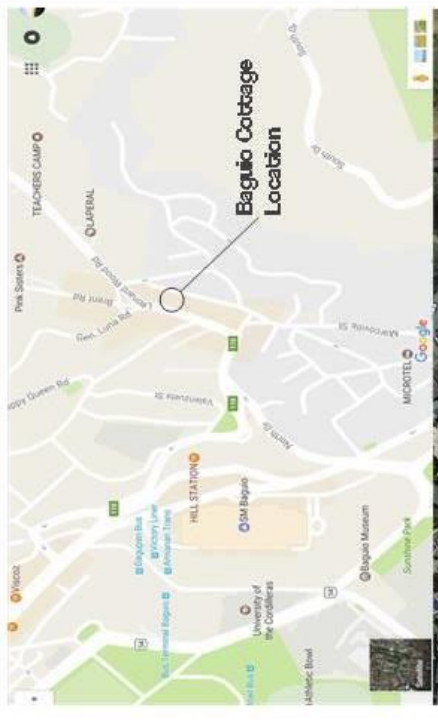
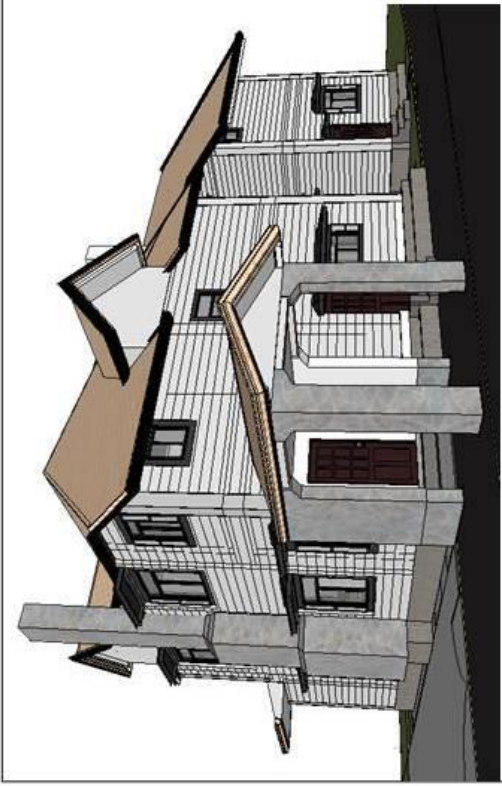
[Name of Bidder's Authorized Representative/s]

[Position]

[Date]

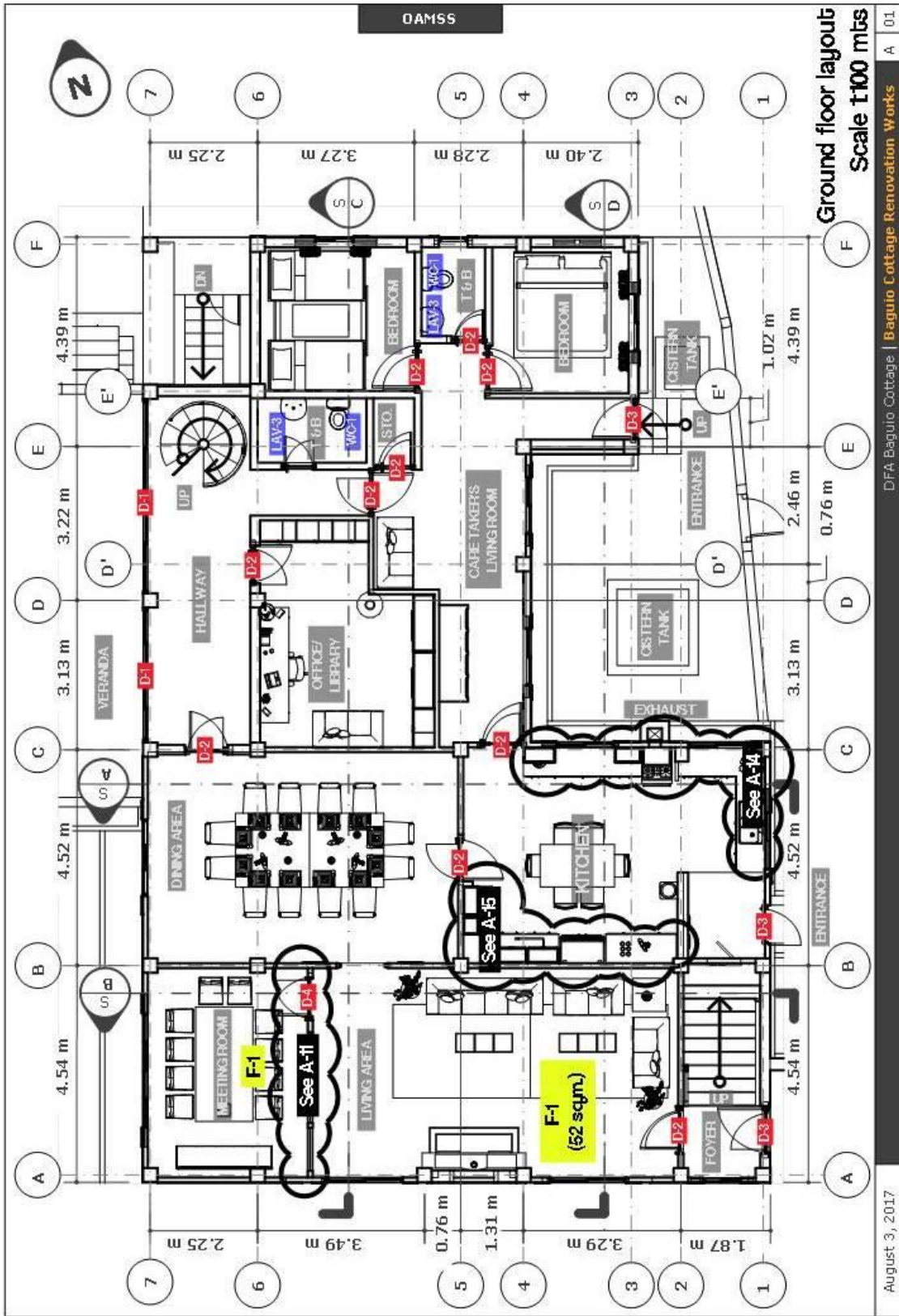
Section VII. Drawings

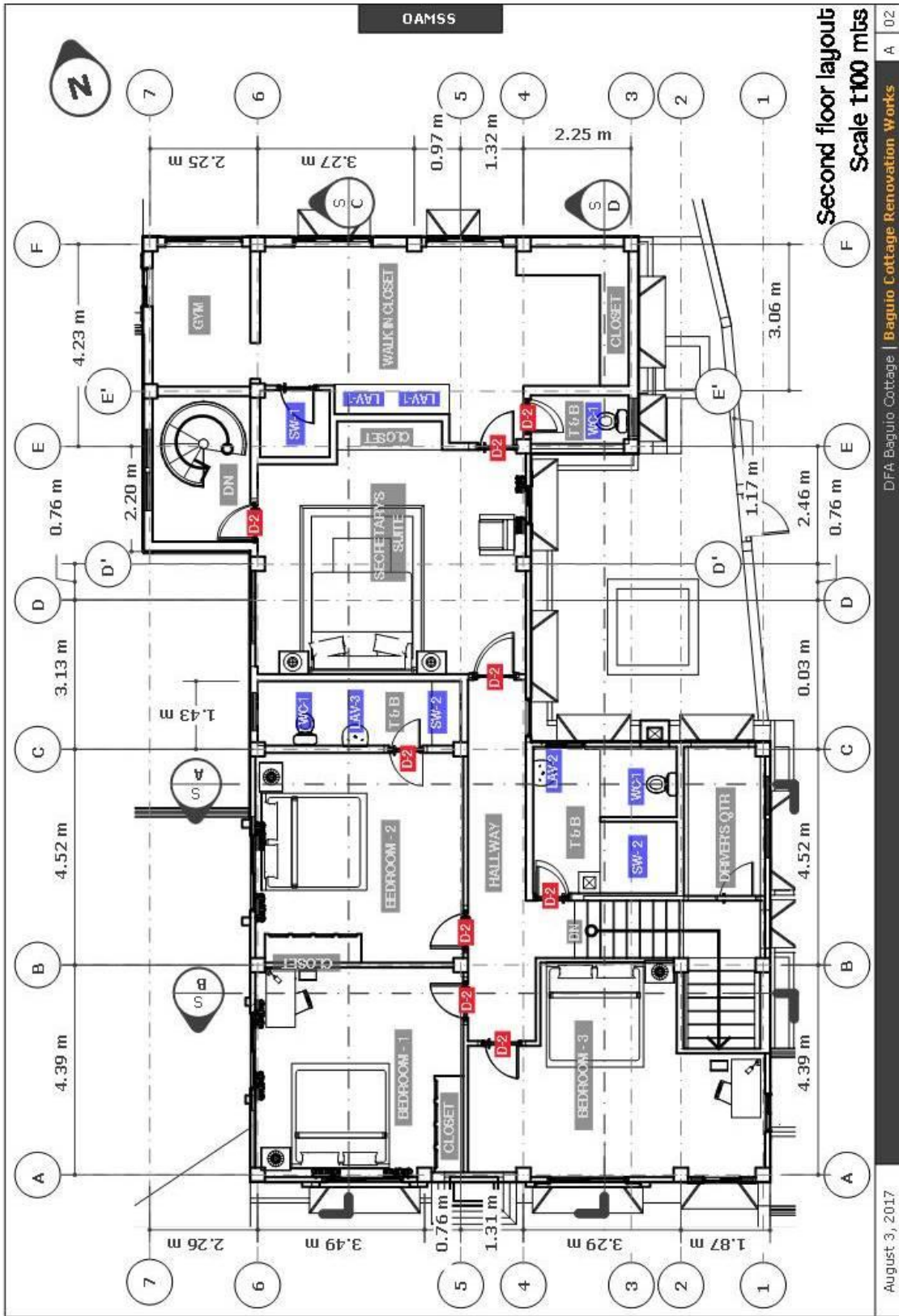
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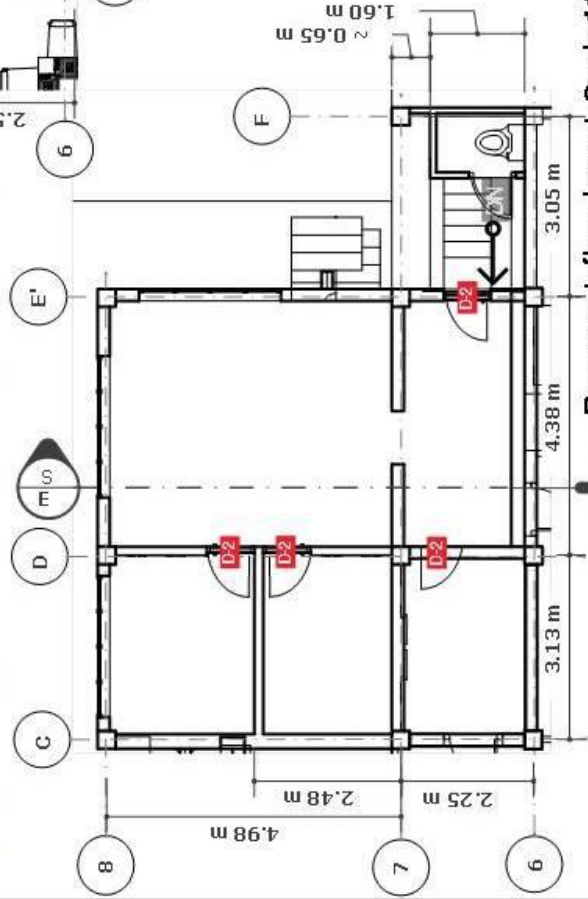
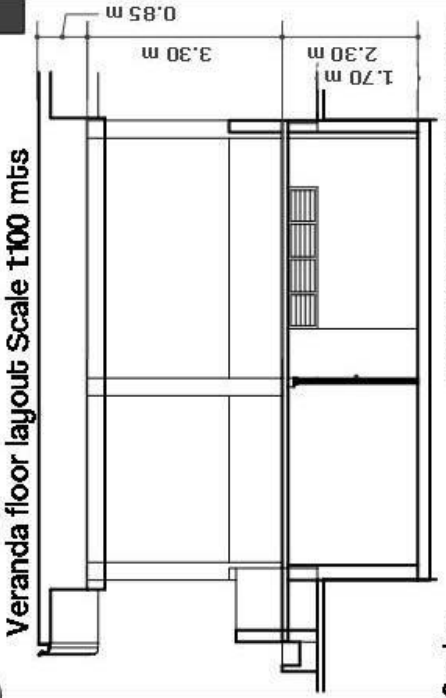
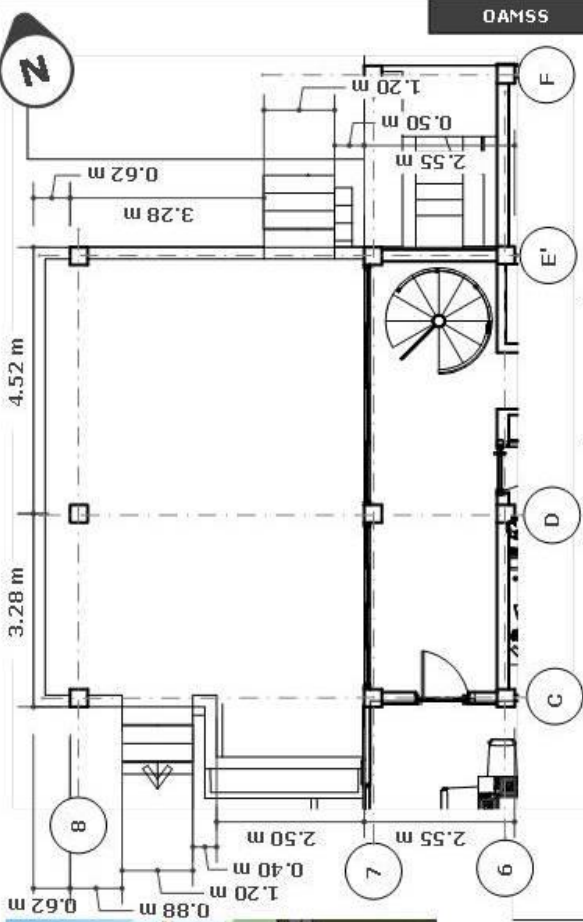


Department of Foreign Affairs
Baguio Cottage Renovation Works
Leonard Wood road, Cabinet Hill-
Teachers Camp, Baguio City

Department of Foreign Affairs,
2330 Roxas Blvd.,
Pasay City, Philippines 1300







August 3, 2017



Front View Scale 1:100 mbs





Rear View Scale 1:100 mbs



Right View Scale 1:100 mbs



DAMSS



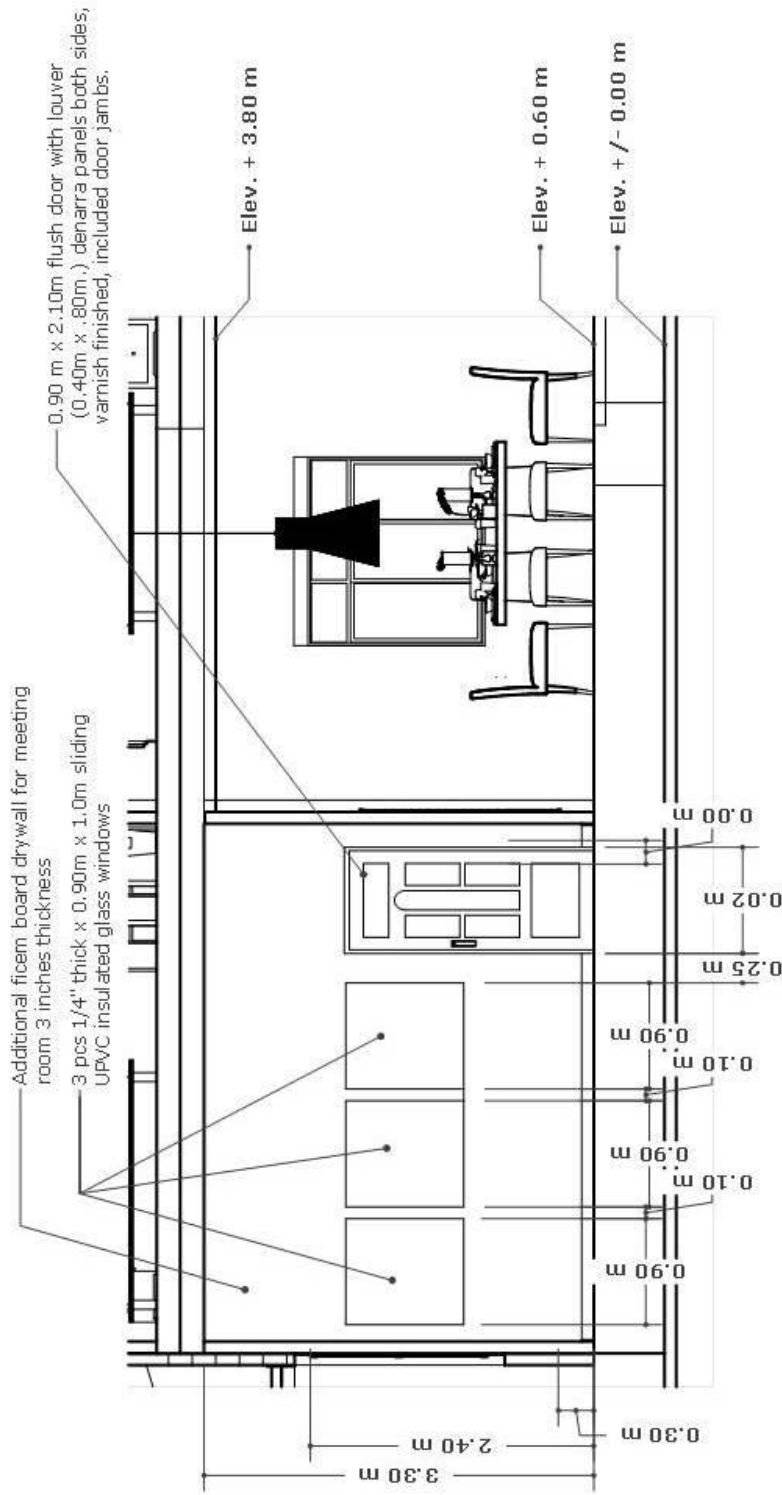
Section "B" Scale 1:100 mbs

August 3, 2017

DFA Bagulo Cottage | Bagulo Cottage Renovation Works

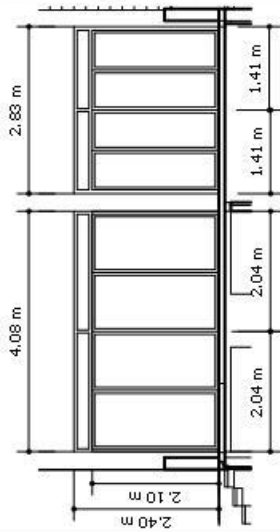
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Additional dry wall for meeting room @ living area





Aluminum sliding glass door with screen Scale 1:100 mks (D-1)

SCHEDULE OF WATER CLOSET	
MARK	REMARKS
D-1	Repair of existing glass doors and door screens framing/guides & accessories One (1) set
D-2	Re-varnish and/or re-painting of existing doors and door jambs. Replace door lambs with Antique brass finished entrance lockset, CA 5137 x 1155 (Yale or equivalent) Thirteen (13) sets
D-3	Re-varnish and/or re-painting of existing doors and door jambs. Replace door lambs with Antique brass finished entrance lockset, CA 5137 x 1155 (Yale or equivalent) Double cylinder deadbolt lock, antique brass finished. (Yale or equivalent) Three (3) sets
D-4	0.90 m x 2.10 m flush door with louver (0.40 m x .80 m) denara panels both sides, varnish finished, included door jambs. Door lamb set is Antique brass finished entrance lockset, CA 5137 x 1155 (Yale or equivalent) One (1) set

SCHEDULE OF FLOOR TILES	
MARK	REMARKS
F-1	Granite floor tiles, 10 mm x 36 mm x 608 mm, granite Accoro or Ambar. 52 square meters

SCHEDULE OF LAVATORY	
MARK	REMARKS
LAV-1	Wash basin, above counter type, AS #607, 548mm x 390mm x 247mm dimensions. Brass bathroom sink faucet mixer (chrome), single handle lever with accessories; Two (2) sets
LAV-2	Wash basin, full pedestal, AS # 1052/7039, 696mm x 497mm x 848mm dimensions. Brass bathroom sink faucet mixer (chrome), single handle lever with accessories; One (1) set
LAV-2	Wash basin, wall hung type, AS # 0948, 495mm x 430mm x 190mm dimensions. Brass bathroom sink faucet mixer (chrome), single handle lever with accessories; Three (3) sets

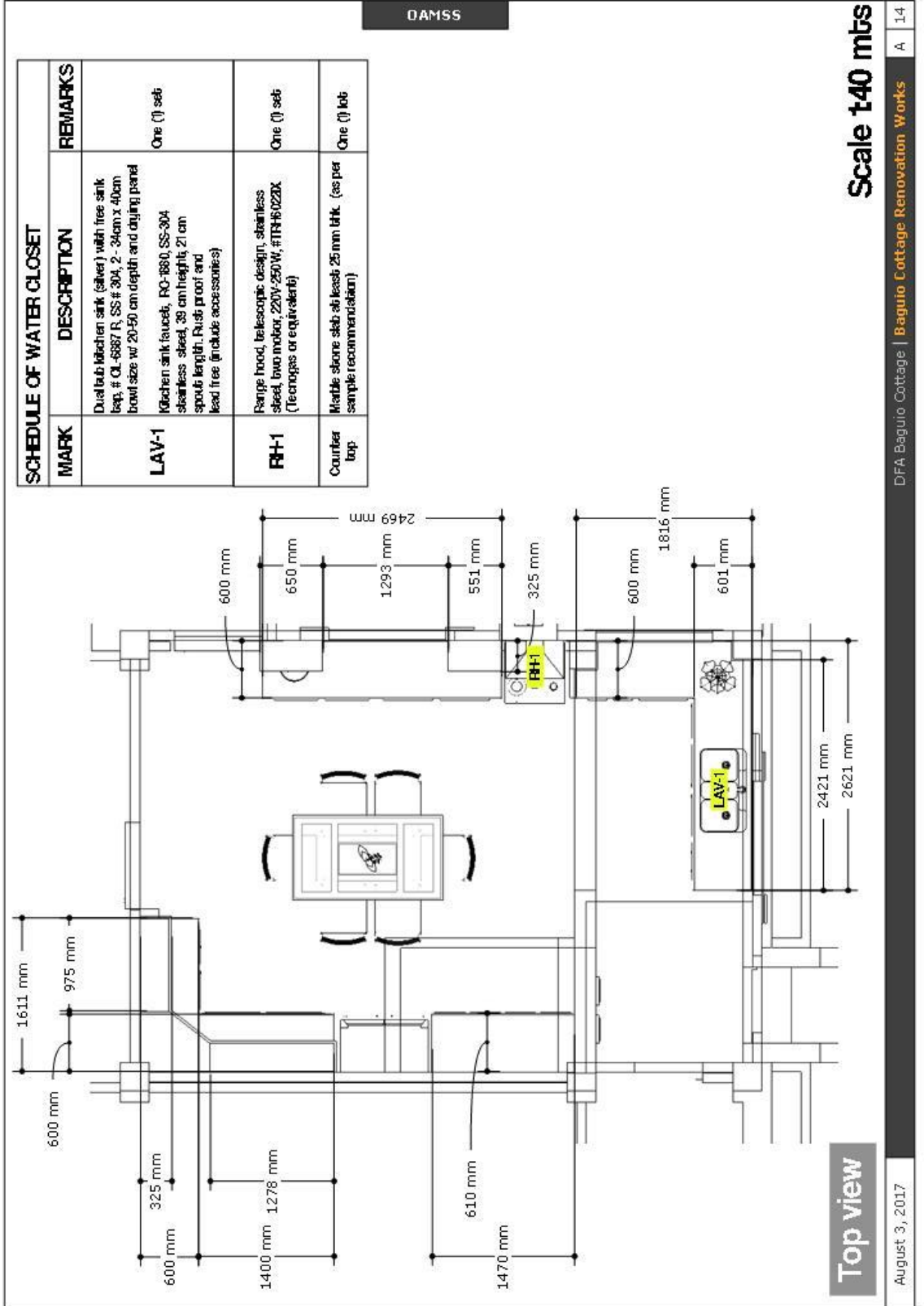
SCHEDULE OF SHOWER HEAD AND ACCESSORIES	
MARK	REMARKS
SW-1	Bathroom luxury stainless steel filter antique bronze shower set for rainfall shower head bathroom faucets mixer (sp. size, single handle, wall mounted, #55015/111) with fittings and accessories One (1) set
SW-2	Simple set bathroom shower faucets, shower set, deck mounted size: 131 mm - 200 mm, single handle/holder dual control (hot/cold) # 92423 with hand shower head faucet sets. One (1) set

SCHEDULE OF WINDOW	
MARK	REMARKS
W-1	1m x 1m UPVC fixed aluminum framed glass windows with frosted film Three (3) sets

SCHEDULE OF WATER CLOSET	
MARK	REMARKS
WC-1	Bioplated water closet, AS/WC # 2398, front lever, 4.50 lit. Flush dimensions: 713mm x 395mm x 758mm (include fittings/accessories) ; Bidet set, RO-979 with hose, stainless steel. Five (5) sets

DAMSS

Hardware schedule



SCHEDULE OF WATER CLOSET		
MARK	DESCRIPTION	REMARKS
LAV-1	Dual-bowl kitchen sink (silver) with free sink top, # OL-6687 F, SS # 304, 2 - 34cm x 40cm bowl size w/ 20-50 cm depth and drying panel Kitchen sink faucet, FO-1680, SS-304 stainless steel, 28 cm height, 21 cm spout length, Rust proof and lead free (include accessories)	One (1) set
RH-1	Range hood, telescopic design, stainless steel, two motor, 220V-250W, #ITN-16022X (Technogas or equivalent)	One (1) set
Counter top	Marble stone slab at least 25 mm thick. (see per sample recommendation)	One (1) job

OAMSS

Top view

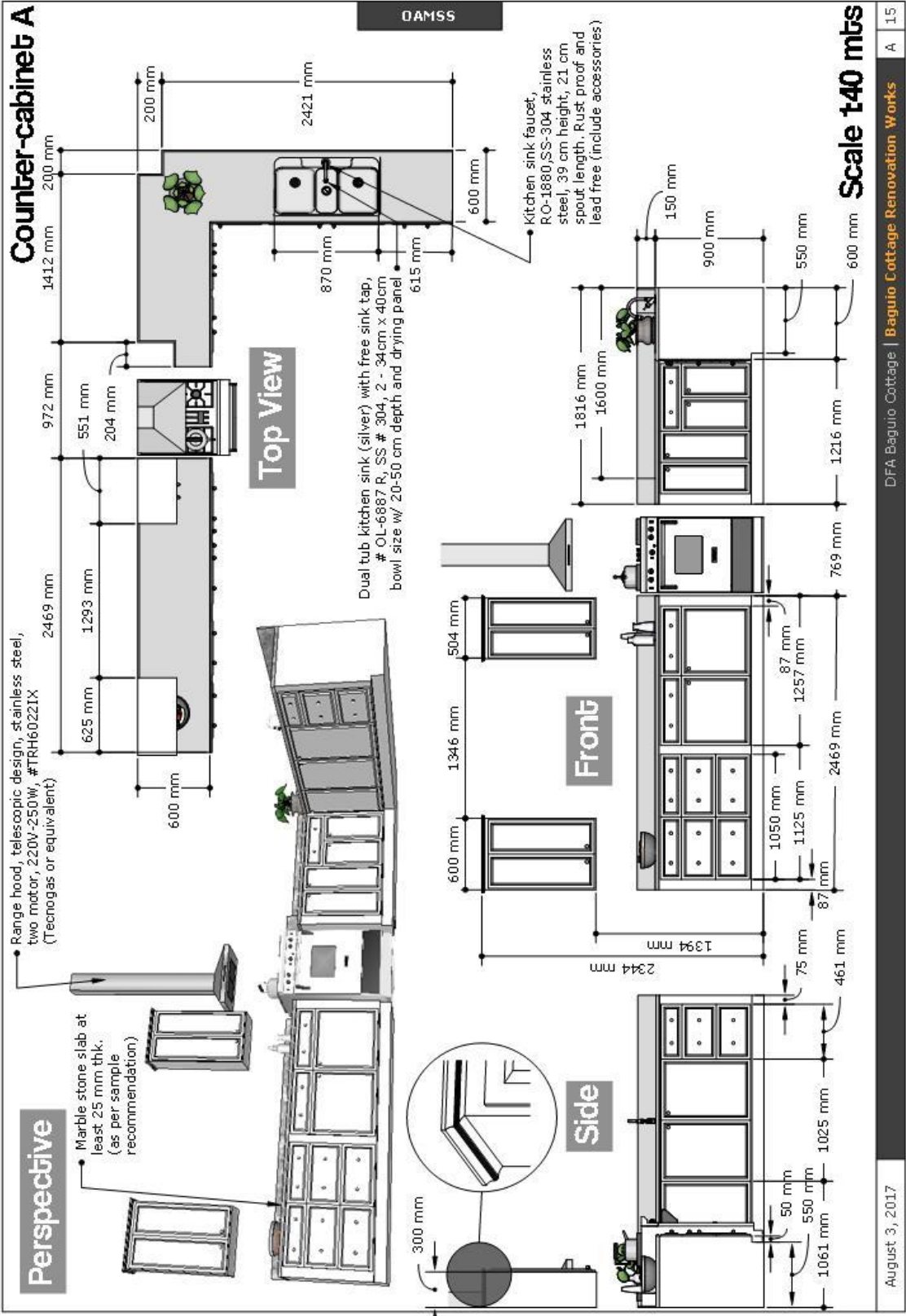
Scale 1:40 mbs

Counter-cabinet A

Range hood, telescopic design, stainless steel, two motor, 220V-250W, #TRH60221X (Technogas or equivalent)

Marble stone slab at least 25 mm thk. (as per sample recommendation)

Perspective

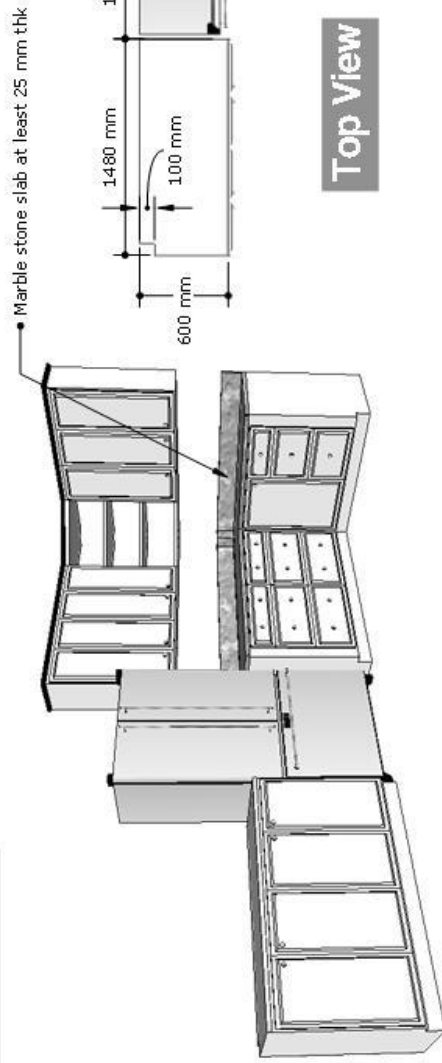


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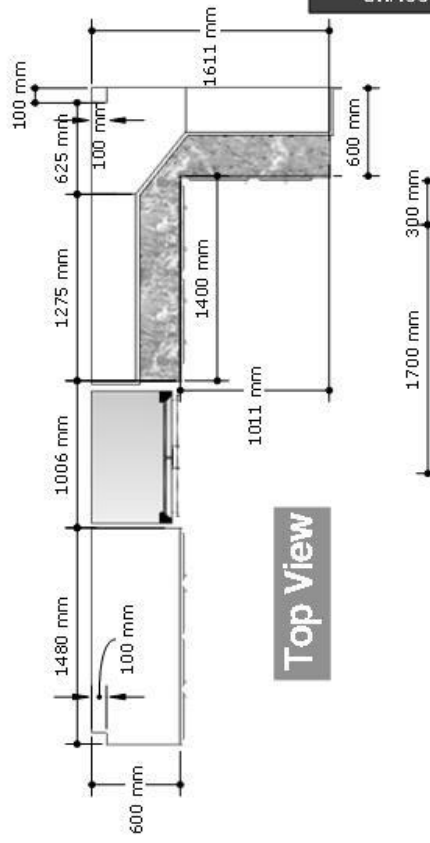
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Counter-cabinet B

Perspective

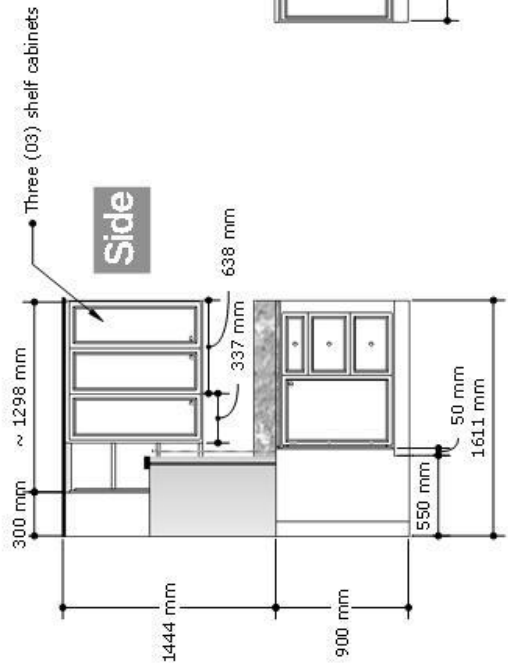


Top View

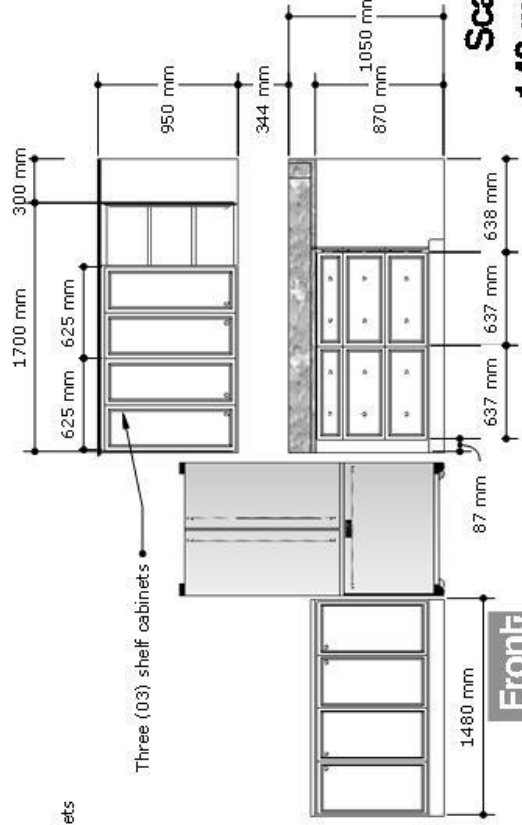


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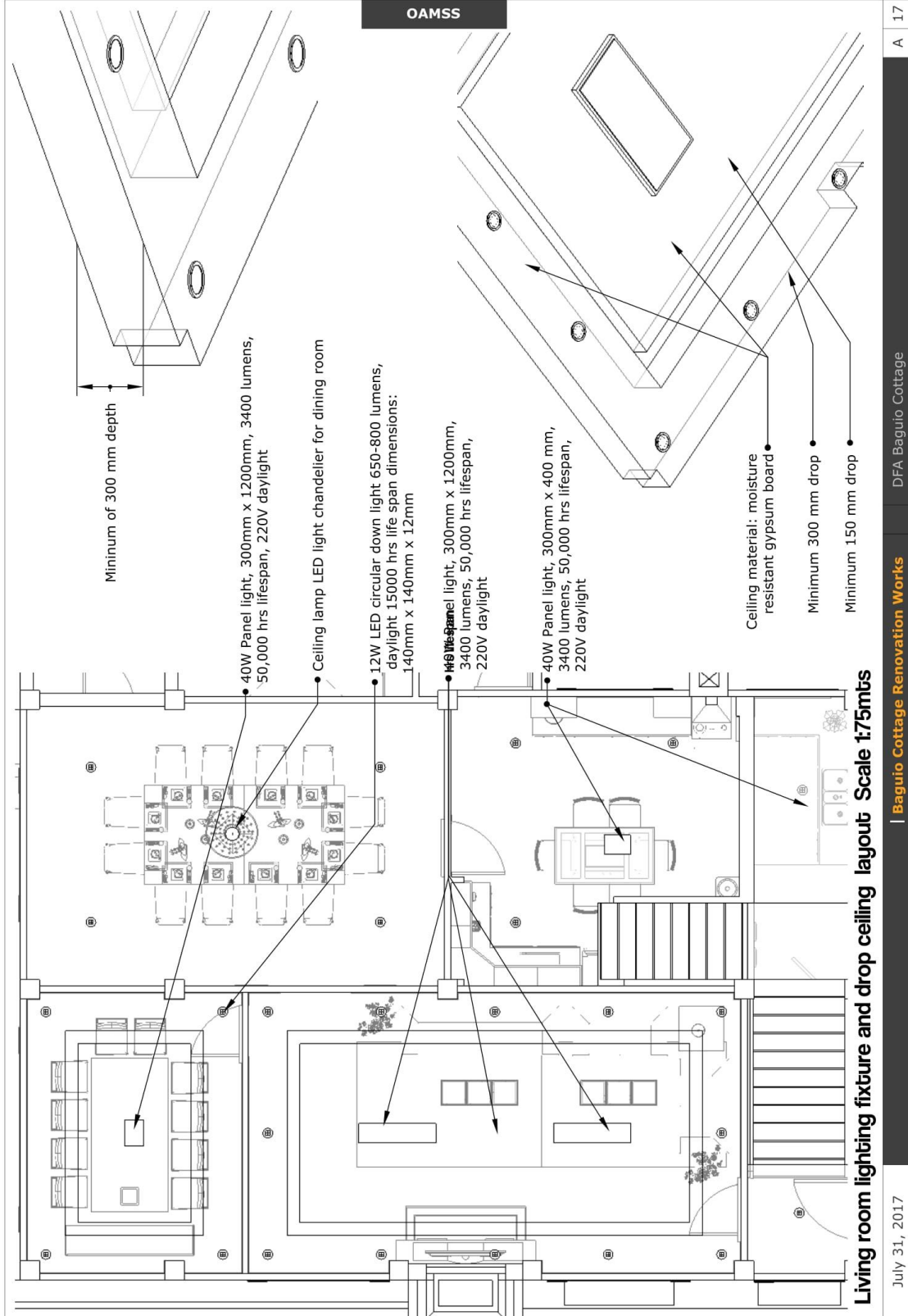
Side

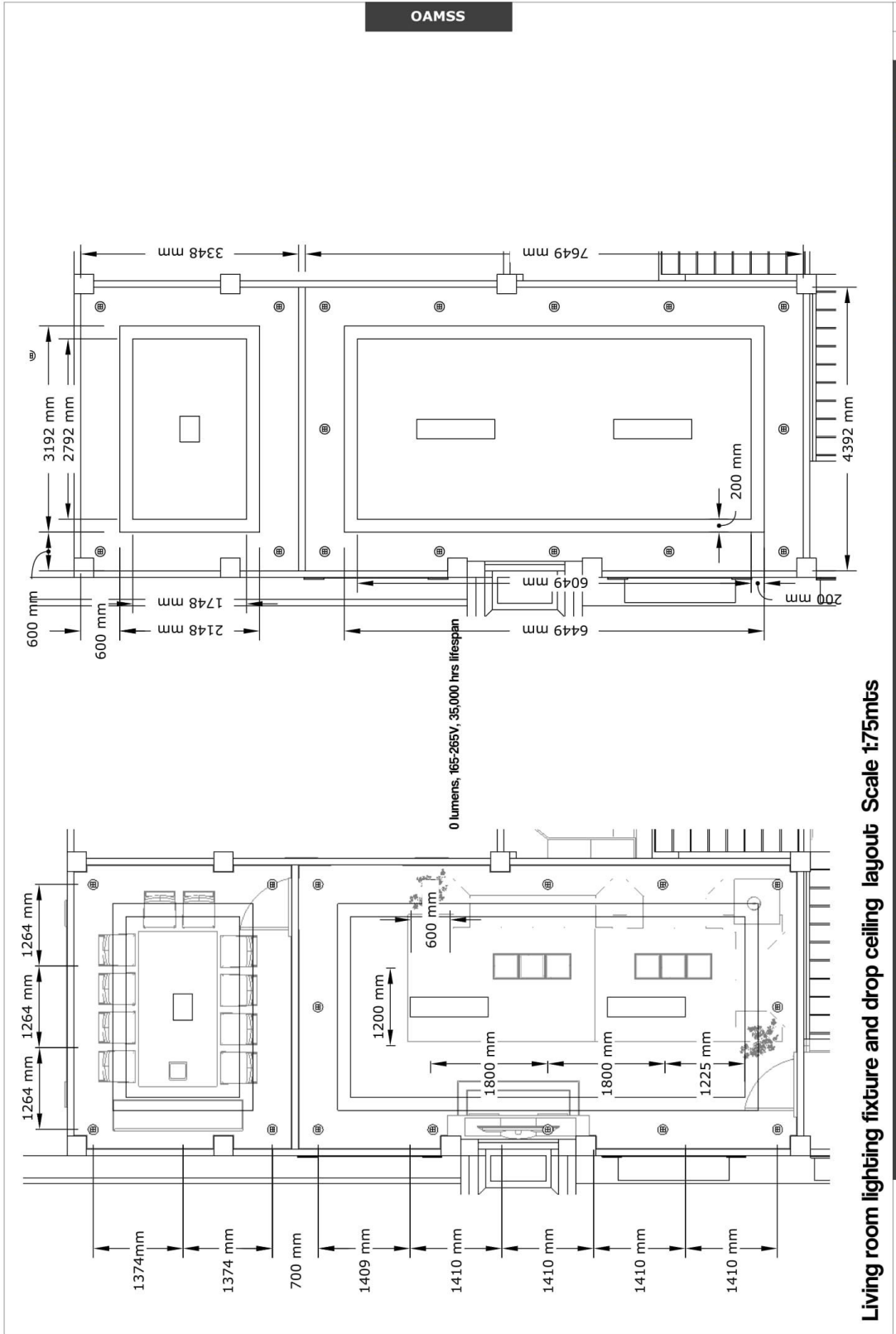


Front



Scale
140 mts





Living room lighting fixture and drop ceiling layout Scale 1:75mbs

DAMSS

Perspective View

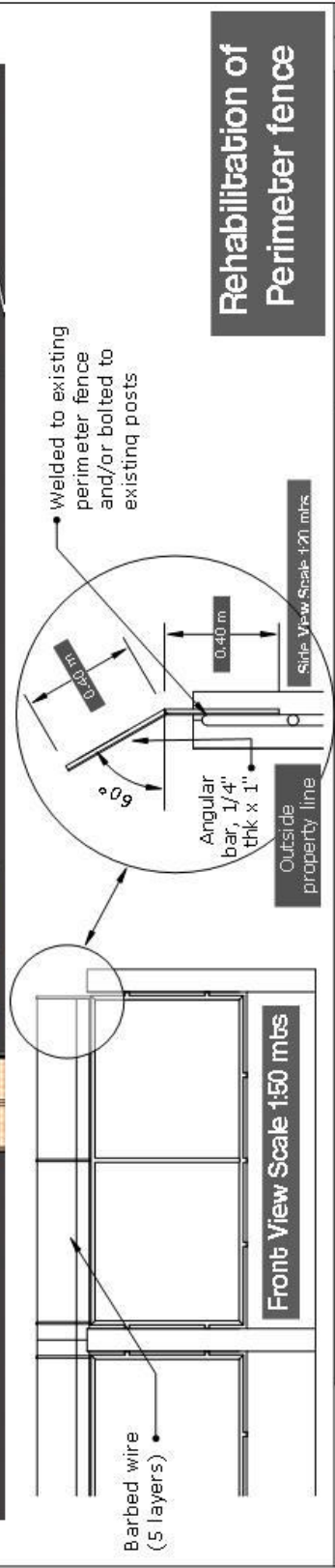


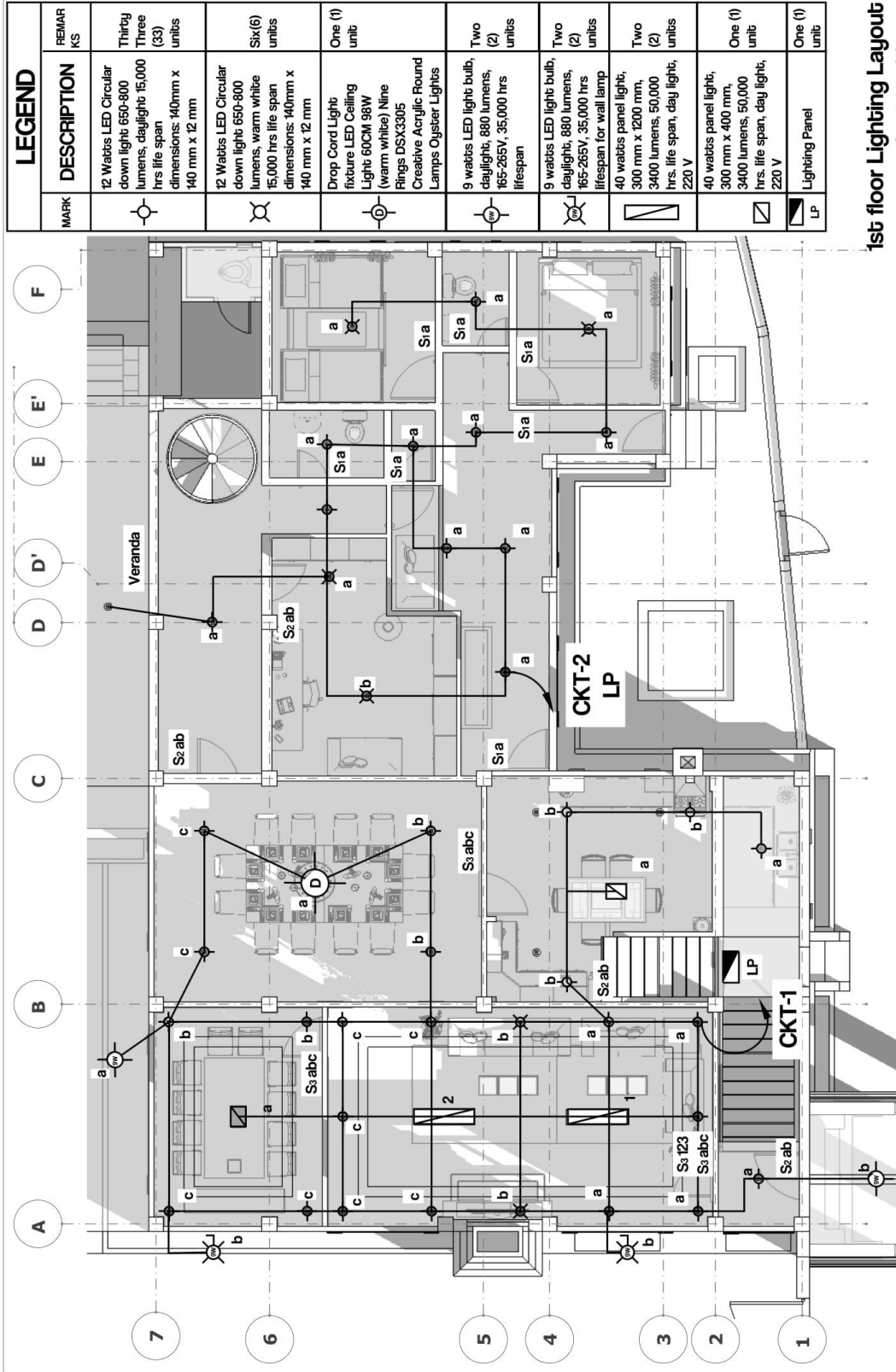
Rehabilitation of Perimeter fence for DFA Baguio Cottage

September 26, 2017

DFA Baguio Cottage | Baguio Cottage Renovation Works

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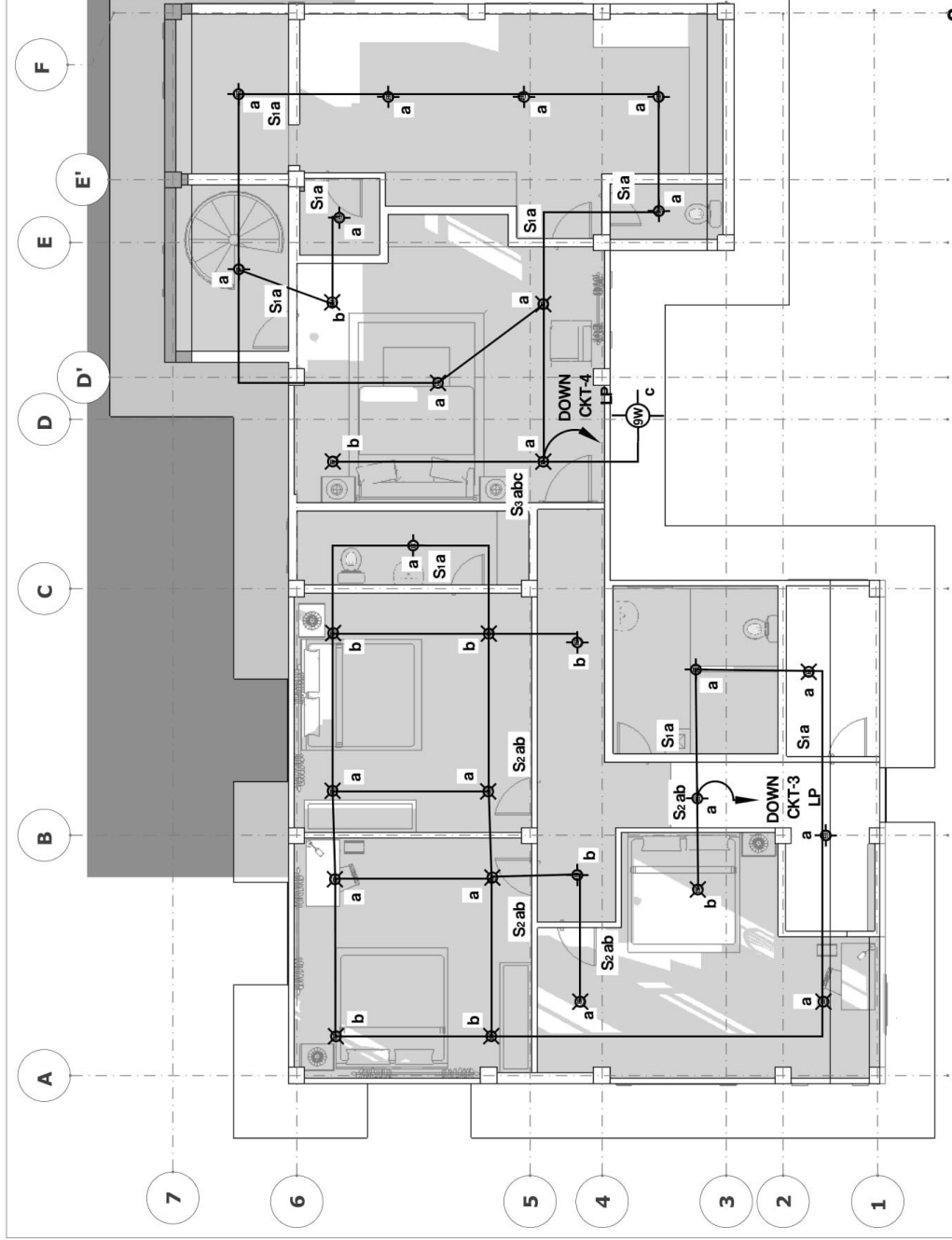




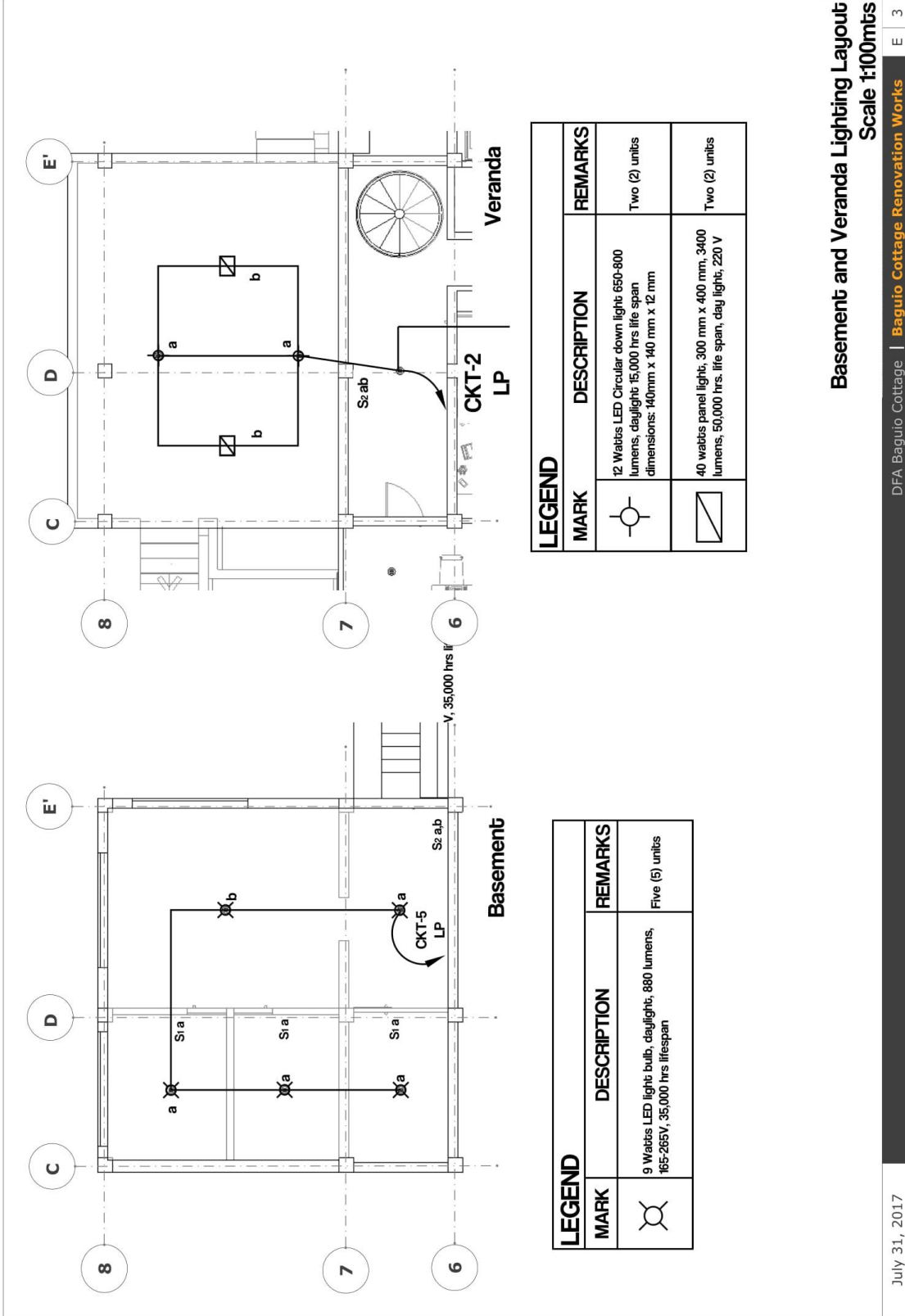
LEGEND		REMARKS
MARK	DESCRIPTION	
	12 Watts LED Circular down light 650-800 lumens, daylight, 15,000 hrs life span dimensions: 140mm x 140 mm x 12 mm	Thirty Three (33) units
	12 Watts LED Circular down light 650-800 lumens, warm white 15,000 hrs life span dimensions: 140mm x 140 mm x 12 mm	Six (6) units
	Drop Cord Light fixture LED Ceiling Light 60CM 98W (warm white) Nine Creative Acrylic Round Lamps Oyster Lights	One (1) unit
	9 watts LED light bulb, daylight, 880 lumens, 165-265V, 35,000 hrs lifespan	Two (2) units
	9 watts LED light bulb, daylight, 880 lumens, 165-265V, 35,000 hrs lifespan for wall lamp	Two (2) units
	40 watts panel light, 300 mm x 1200 mm, 3400 lumens, 50,000 hrs. life span, day light, 220 V	Two (2) units
	40 watts panel light, 300 mm x 400 mm, 3400 lumens, 50,000 hrs. life span, day light, 220 V	One (1) unit
	Lighting Panel	One (1) unit

1st floor Lighting Layout
Scale 1:100mts

LEGEND		REMARKS
MARK	DESCRIPTION	
	12 Watts LED Circular down light 650-800 lumens, daylight 15,000 hrs life span dimensions: 140mm x 140 mm x 12 mm	Thirteen (13) units
	12 Watts LED Circular down light 650-800 lumens, warm white 15,000 hrs life span dimensions: 140mm x 140 mm x 12 mm	Seventeen (17) units
	9 watts LED light bulb, daylight, 880 lumens, 165-265V, 35,000 hrs lifespan	One (1) unit
	Lighting Panel	One (1) unit



2nd floor Lighting Layout
Scale 1:100mts



LEGEND

MARK	DESCRIPTION	REMARKS
	9 Watts LED light bulb, daylight, 880 lumens, 165-265V, 35,000 hrs lifespan	Five (5) units

LEGEND

MARK	DESCRIPTION	REMARKS
	12 Watts LED Circular down light 650-800 lumens, daylight, 15,000 hrs life span, dimensions: 140mm x 140 mm x 12 mm	Two (2) units
	40 watts panel light, 300 mm x 400 mm, 3400 lumens, 50,000 hrs. life span, day light, 220 V	Two (2) units

Basement and Veranda Lighting Layout
Scale 1:100mts

