



**DEPARTMENT OF FOREIGN AFFAIRS**

2330 Roxas Blvd., Pasay City,  
1300 Philippines  
Tel.No. 834-4000  
www.dfa.gov.ph

PREPARED BY:

**A.M.TARAGUA**  
OAMSS-PPMD

CHECKED BY:

**B.MIRANDA Jr.**  
OAMSS-PPMD

**R. SAMBITAN**  
HEAD EMS  
OAMSS-PPMD

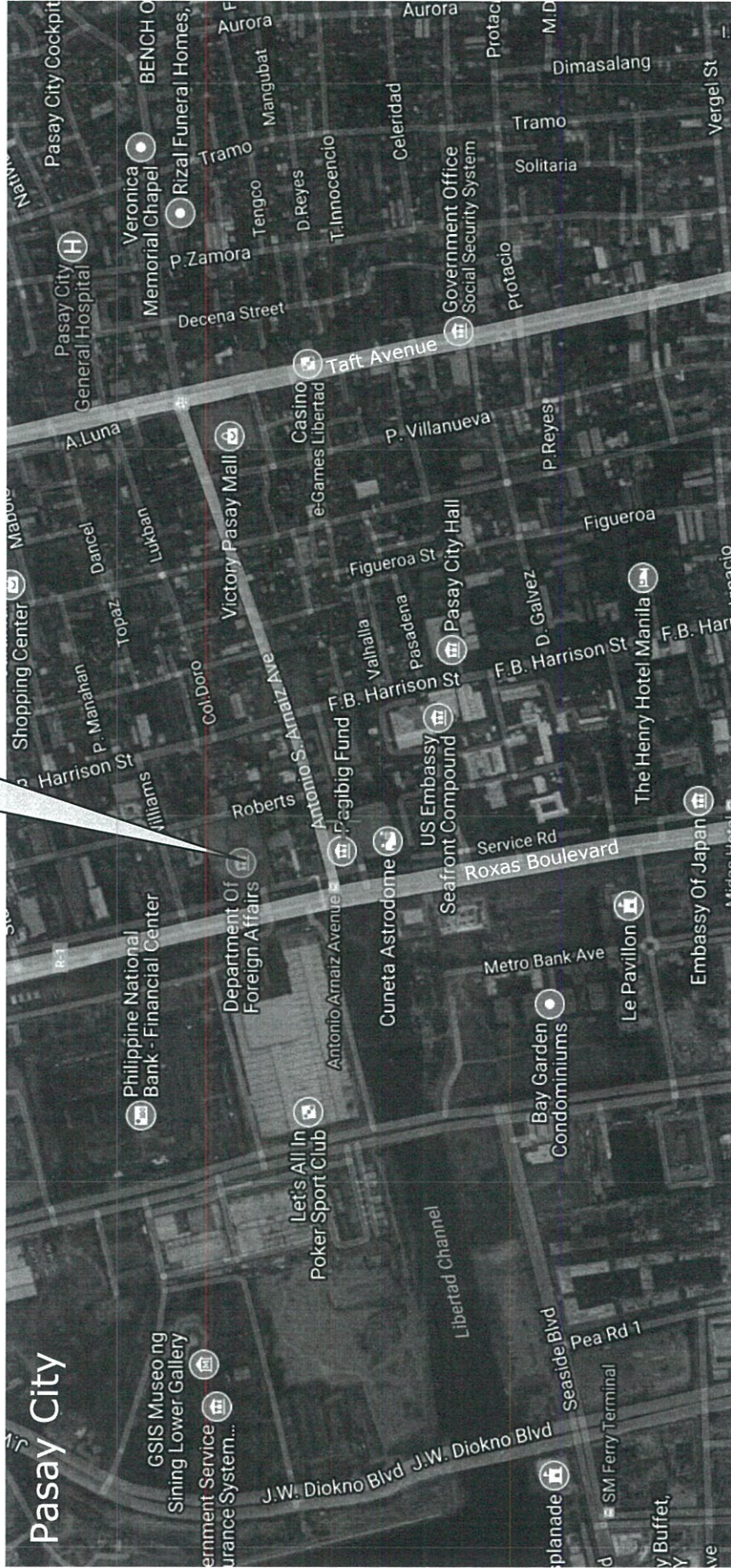
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**F. FLORES**  
ACTING DIRECTOR  
OAMSS-PPMD

END-USER REPRESENTATIVES:

*Printed Name & Signature*

**THE SITE**



**A :: Location Map**

001  
scale: 1 = 700 mts



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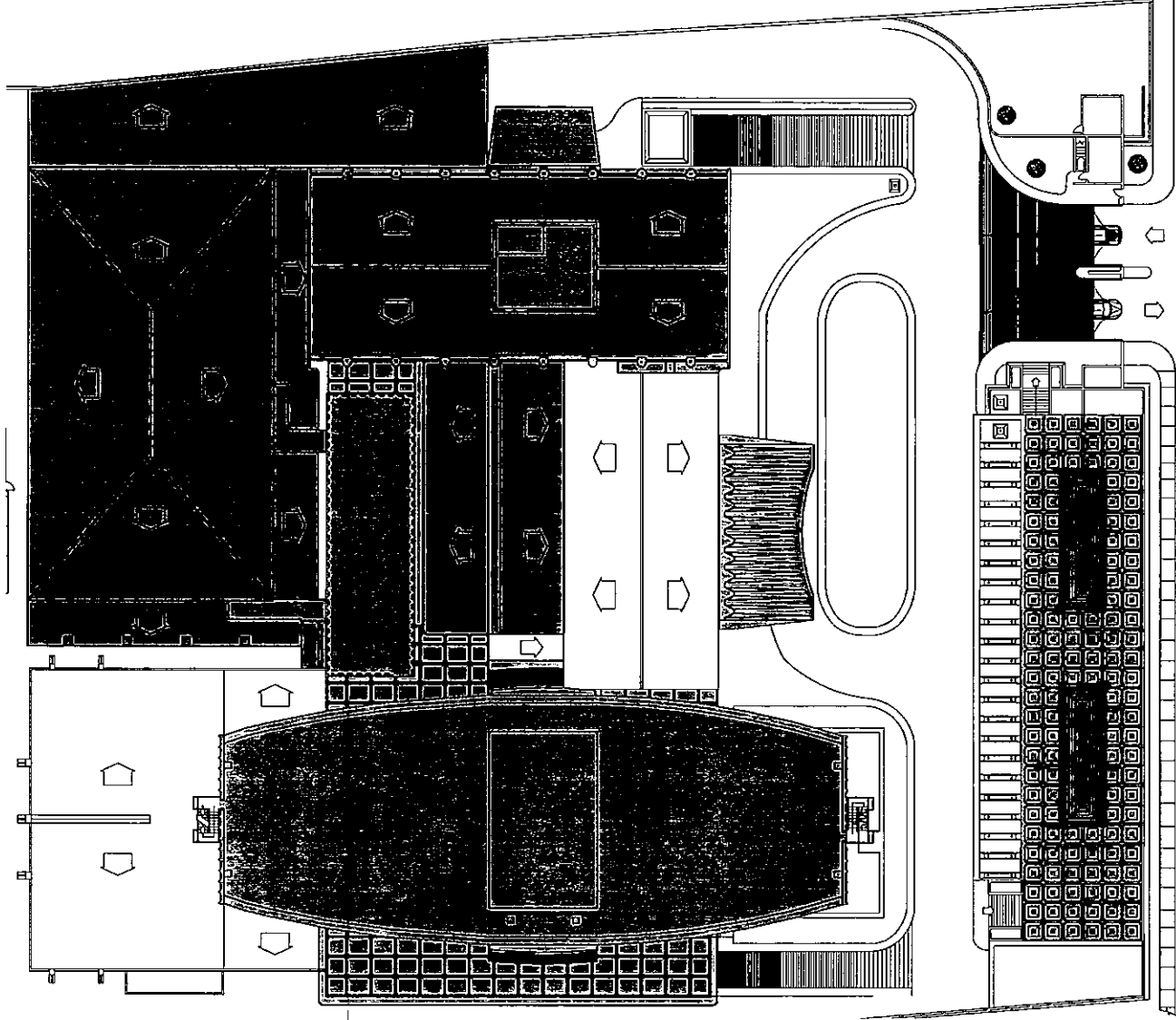
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Legend	
	Slab repair and Waterproofing works
	Roof repair and replacement
	Roof repair and repainting works
	Supply and installation of New Skylight Repair of Bench/plant box/ skylight

**A** :: Top View - DFA Main Bldg

scale: 1=700 mts

002





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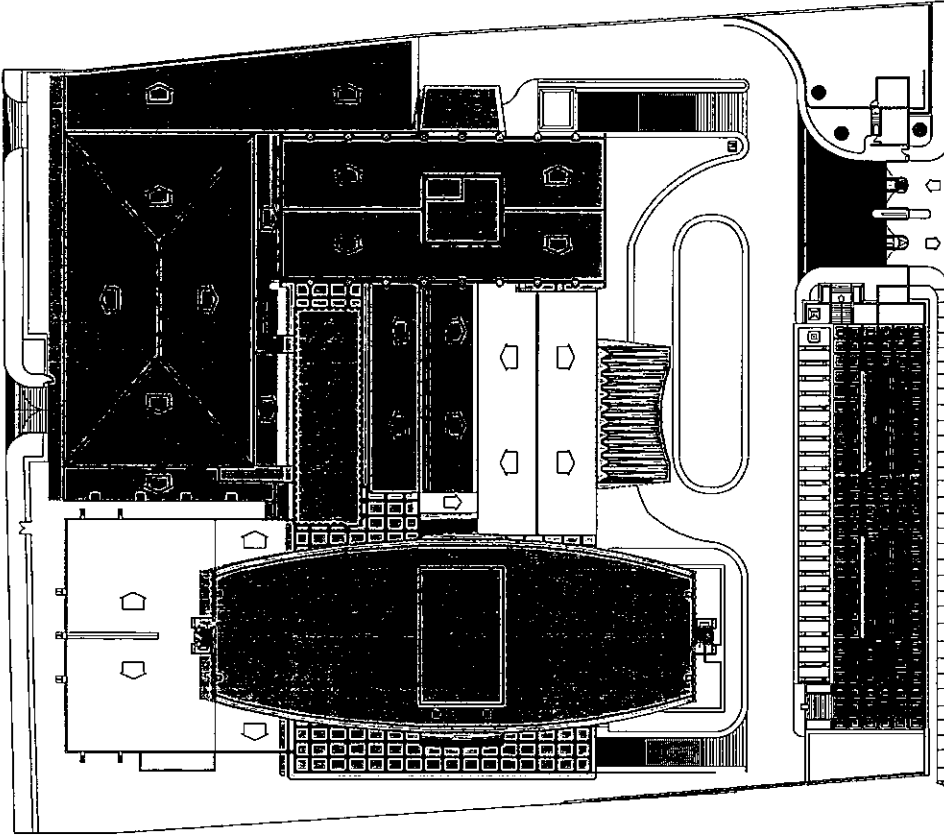
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**Waterproofing Area**

Location	Area (sq.m.)
Plaza Parking	533
Plaza Parking (1 foot covering)	64
Main Concrete canopy	175
SWA Concrete canopy	74
5th floor deck (north side)	273
5th floor deck (north side) perimeter	35
5th floor deck (south side)	460
5th floor deck (south side) perimeter	147
5th floor deck (apron)	22
5th floor deck (apron) perimeter	13
4th floor concrete strip	34
SWA roof deck	320
SWA concrete gutter	116
Main roof deck	1260
Main roof deck perimeter	50
Machine room deck	220
Total Area	3,796
10% Contingency	379.6
Final Area	4,175.6
<b>Roof Area</b>	
<i>For Replacement</i>	
4th floor roofing (15% slope)	412
Car Park Building (20% slope)	1,172
Authentication roofing (20% slope)	803
<i>For Repair</i>	
South Wing Annex Roofing (20% slope)	842

**A** :: Area Tabulation

000  
scale: 1 = 1000 mts



- Proposed waterproofing
- For Roof Replacement
- For Roof Repair
- Installation of skylight and repair of existing concrete bench



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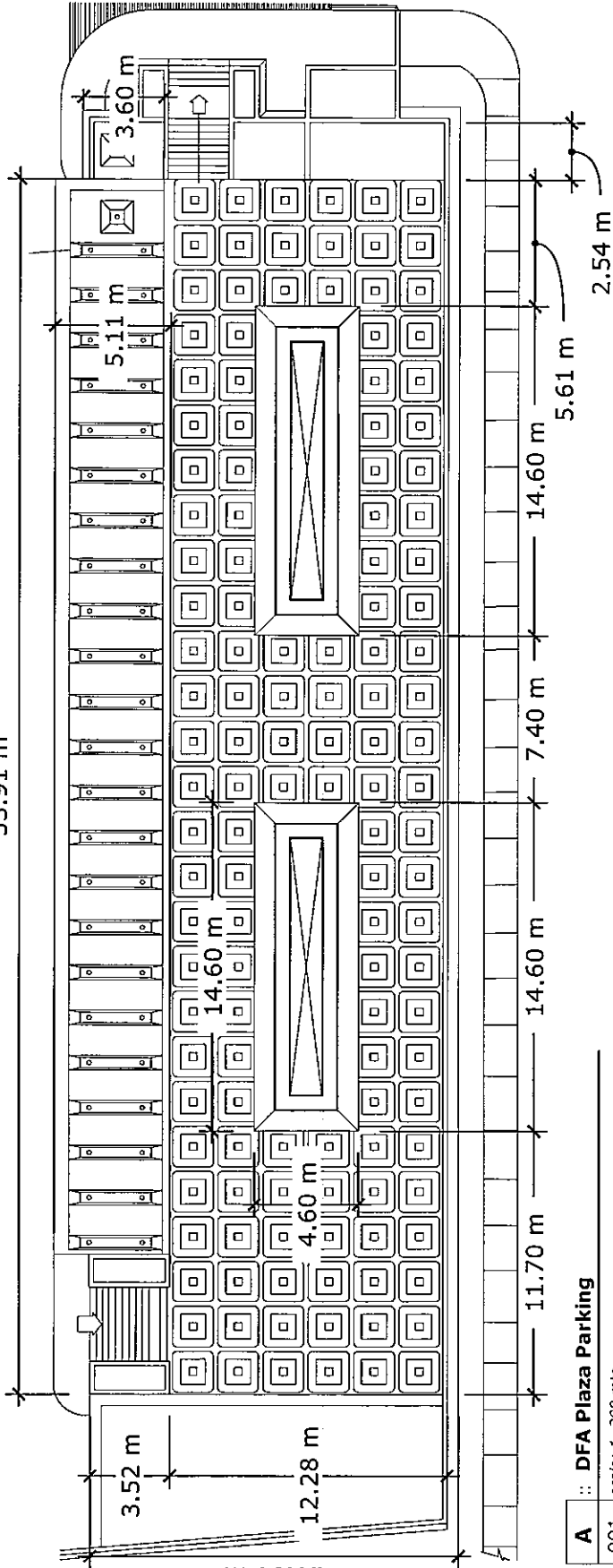
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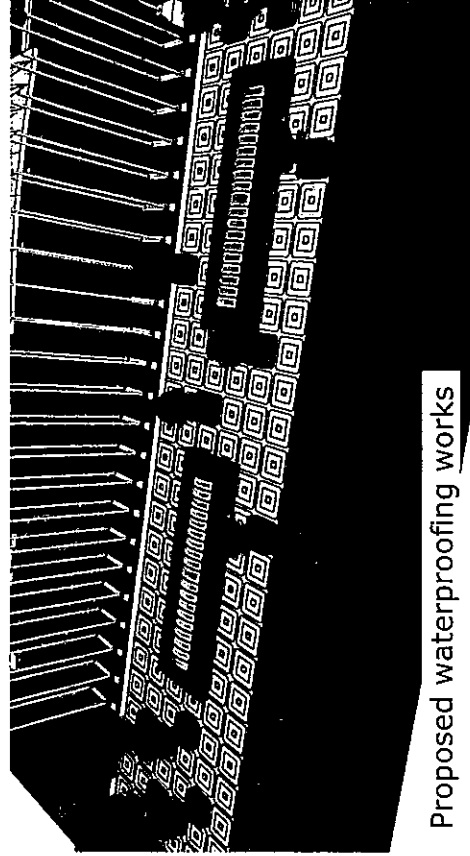
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53.91 m



**A :: DFA Plaza Parking**

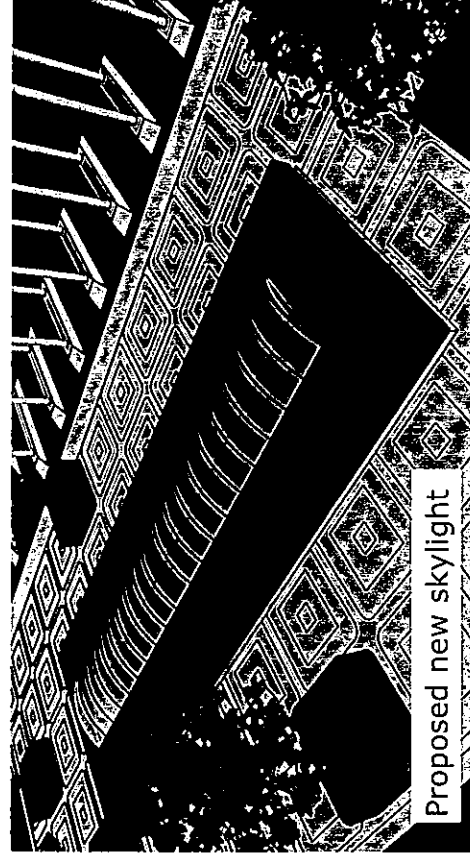
001 scale: 1=300 mts



**Proposed waterproofing works**

**A :: DFA Plaza Parking**

001 scale: NTS



**Proposed new skylight**

Area = ± 533 square meters, Perimeter = 211 m x 0.30 m = 64 sq.m.



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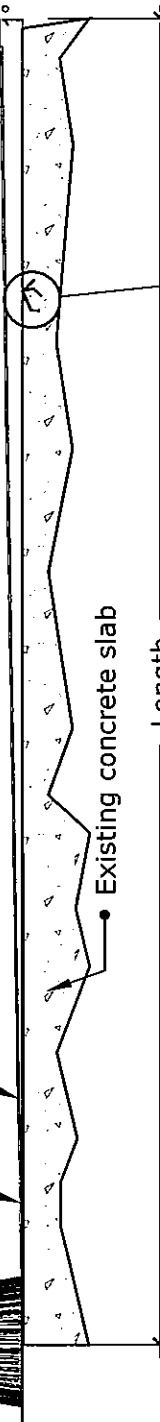
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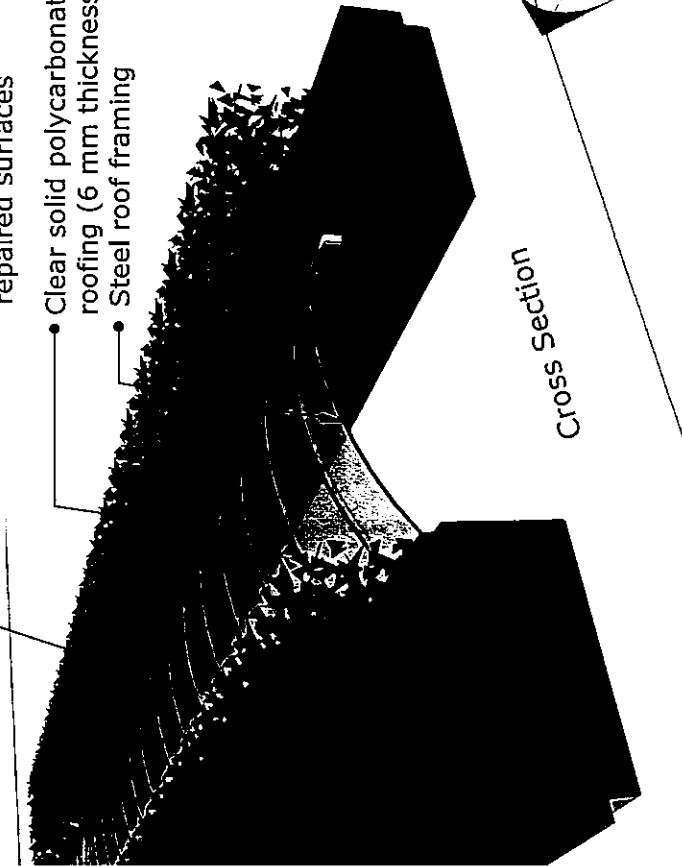
- Stainless steel dome type floor drain
- 1% Slope Grade rectification works using cement mixture with cementitious waterproofing system acrylic polymer.
- Water Proofing primer and top coat as per manufacturers application instructions



A :: Typical slope gradient of 1% and waterproofing details

Scale: 1=NTS

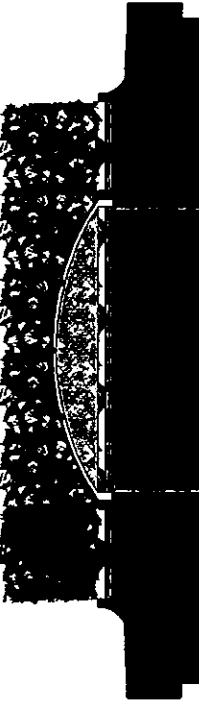
- Wash-pebble finish on repaired surfaces
- Clear solid polycarbonate roofing (6 mm thickness)
- Steel roof framing



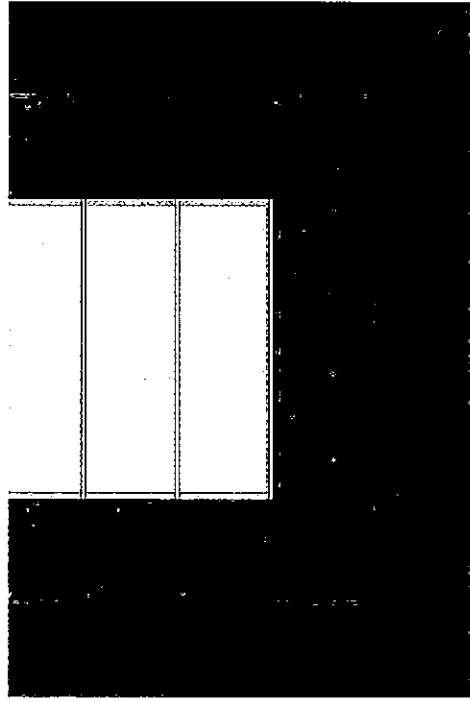
A :: Proposed Skylight design for Plaza Parking

Scale: 1=NTS

All cracks on slab must be repaired before slope rectification and waterproofing works.



Scale 1:50 mts



Scale 1:50 mts



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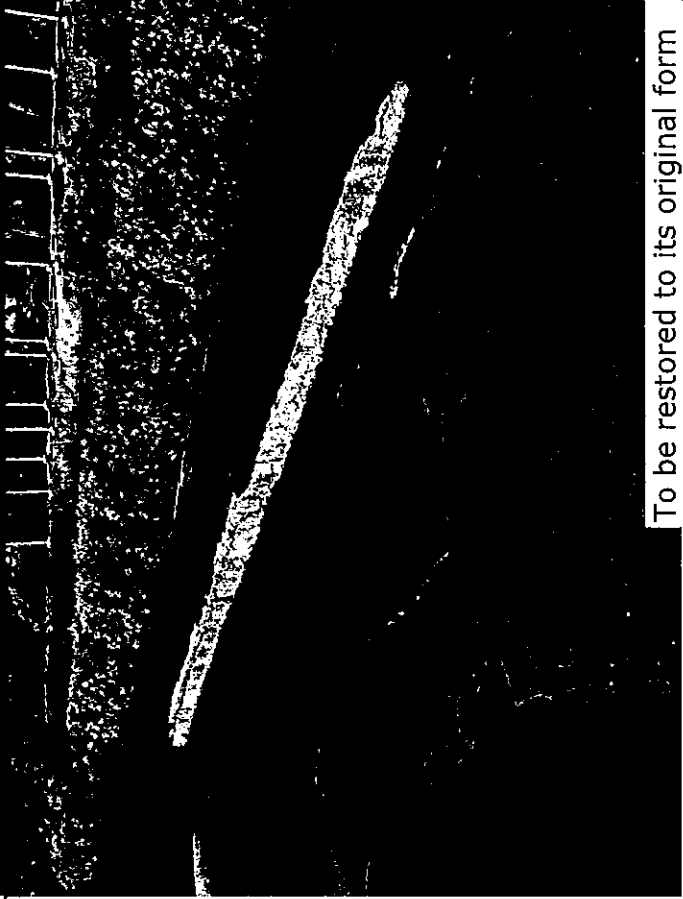
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Pebble-wash finish

To be restored to its original form



To be restored to its original form



Current condition of Plaza Parking roof deck



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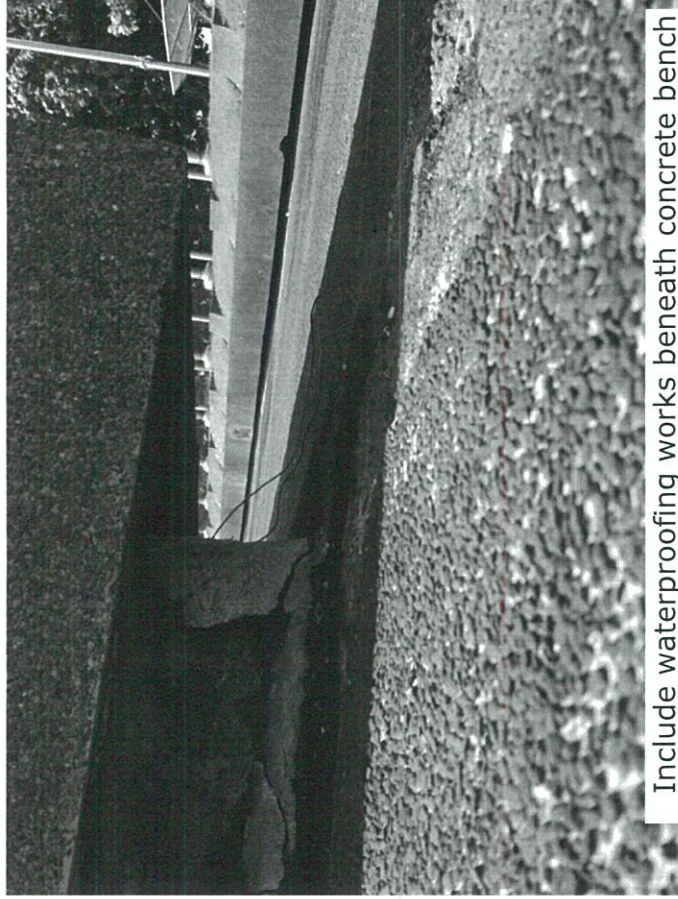
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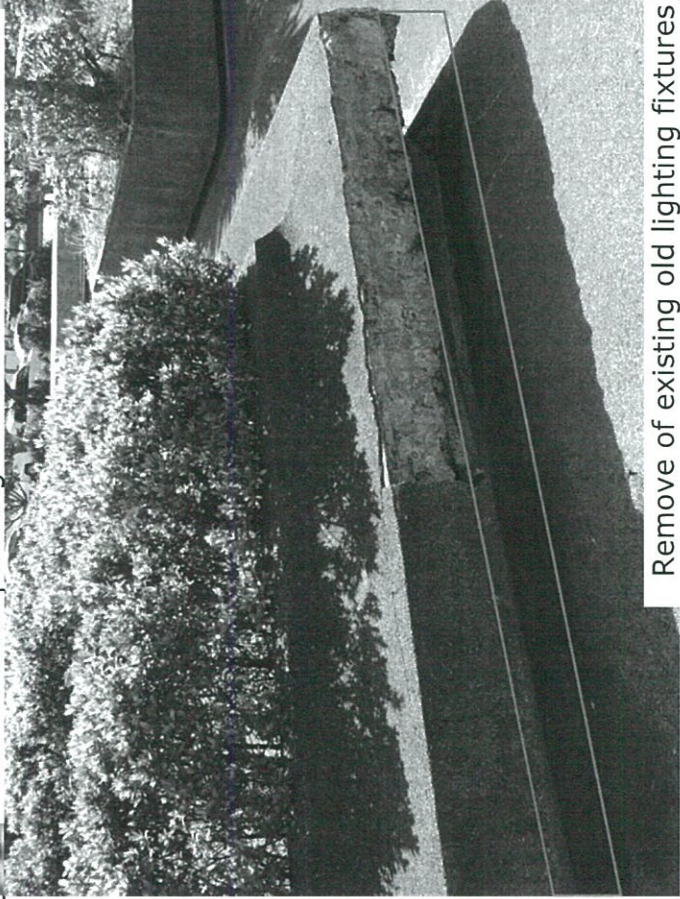
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Include waterproofing works beneath concrete bench



For installation of skylight



Remove of existing old lighting fixtures





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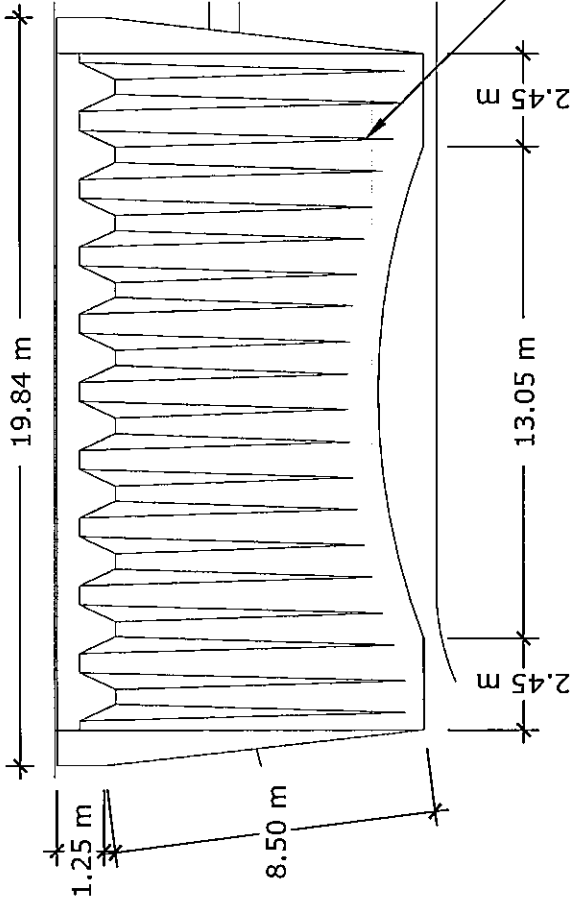
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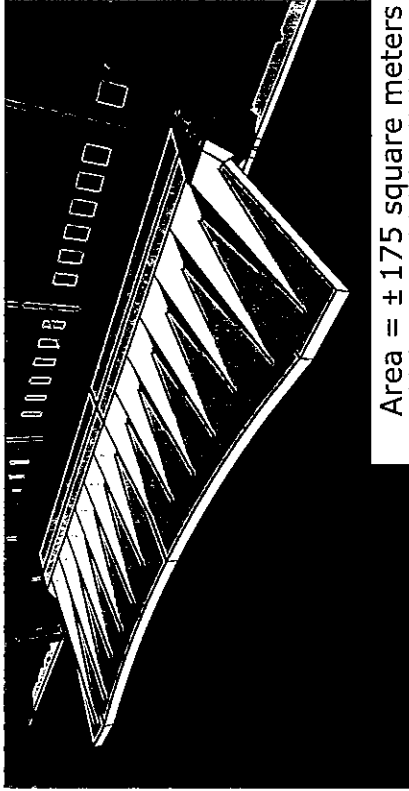
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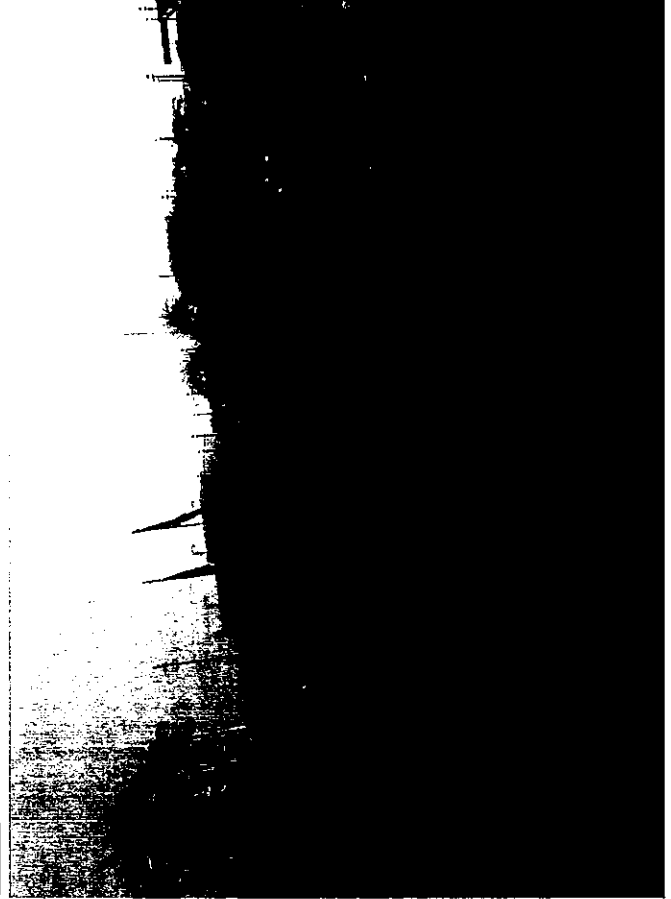
**A :: DFA Concrete Canopy**

002 scale: 1=200 mts



Area = ± 175 square meters

Application of waterproofing mixture



Actual photos





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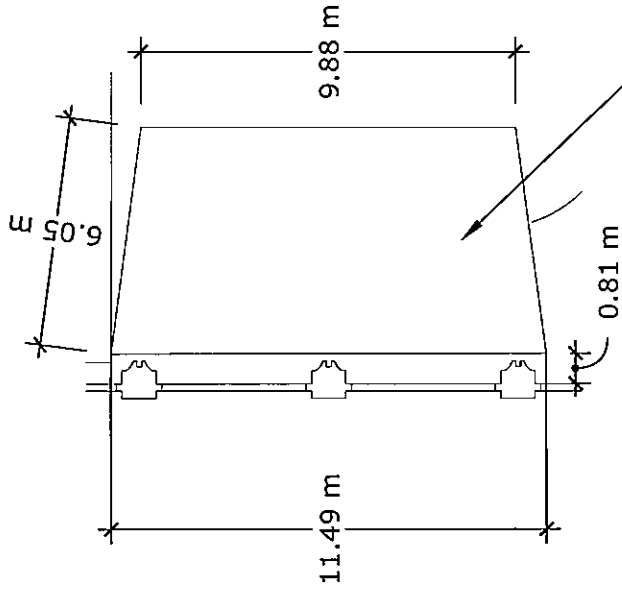
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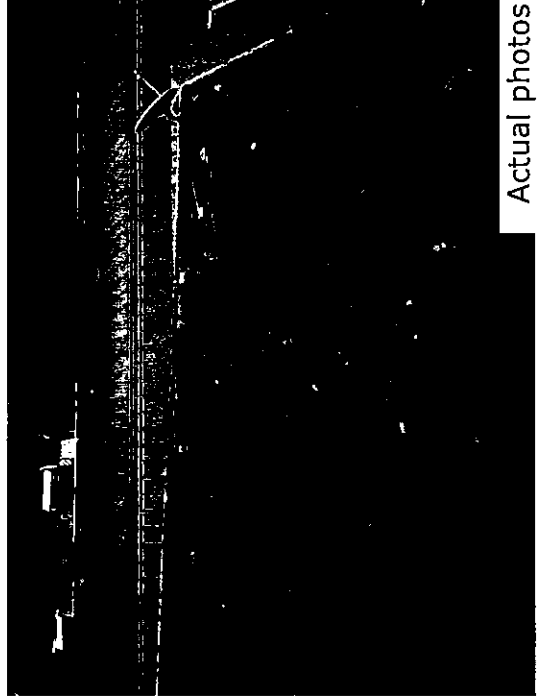
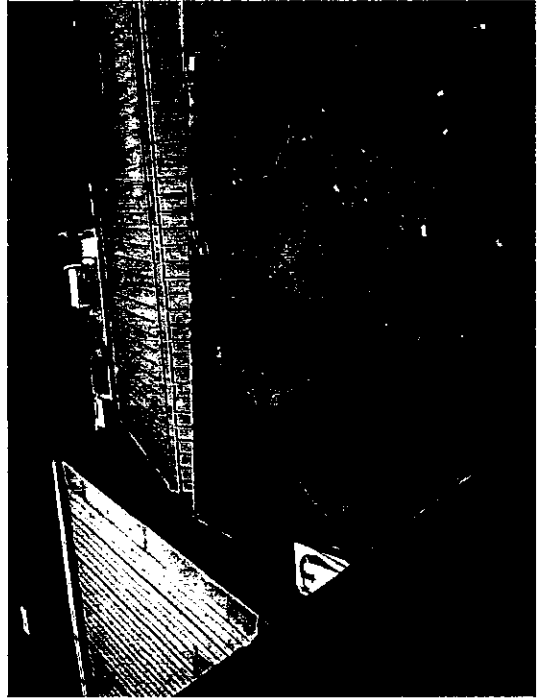


Area = ±74 square meters

Application of Waterproofing mixture

**A** :: SWA Concrete Canopy

002 scale: 1=200 mts



Actual photos



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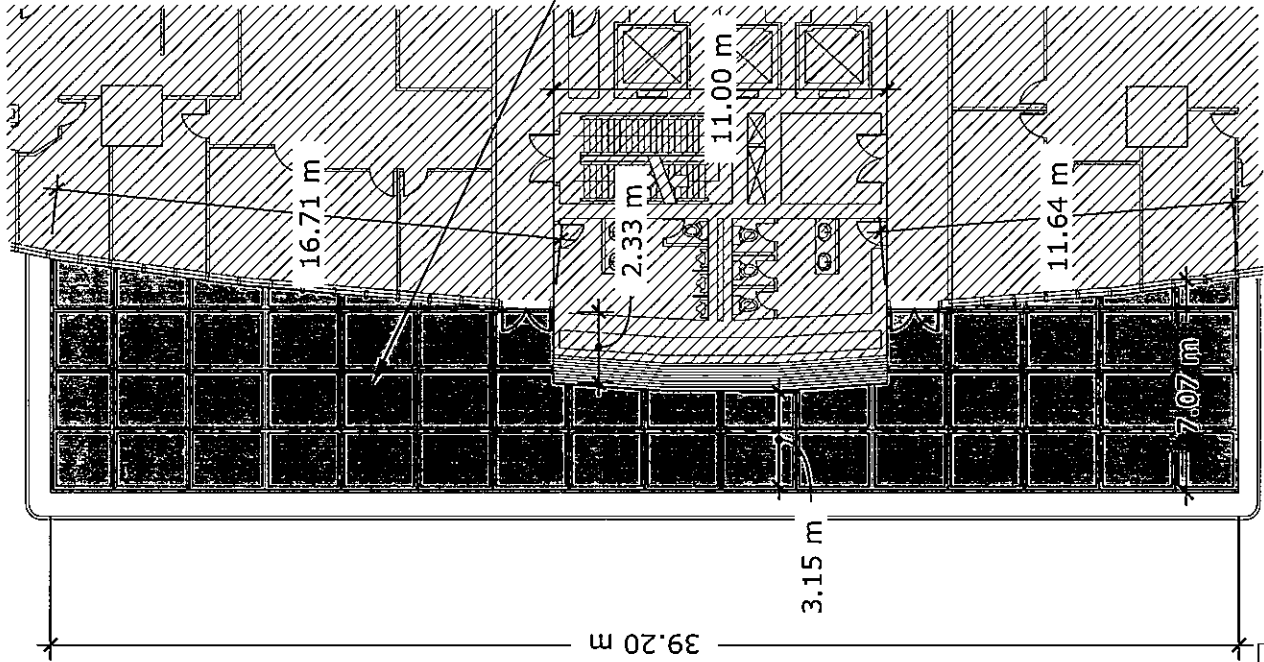
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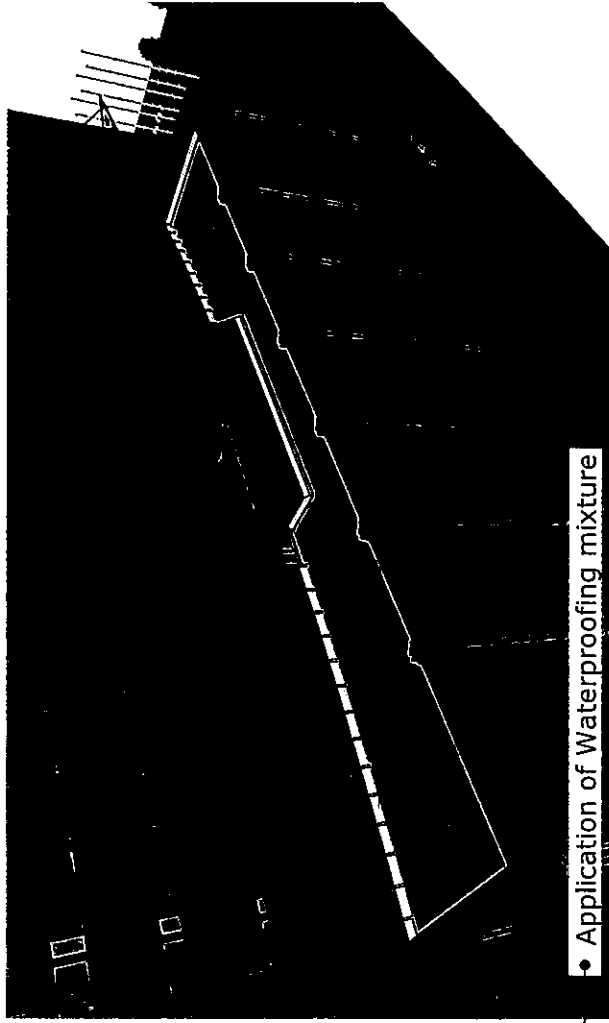
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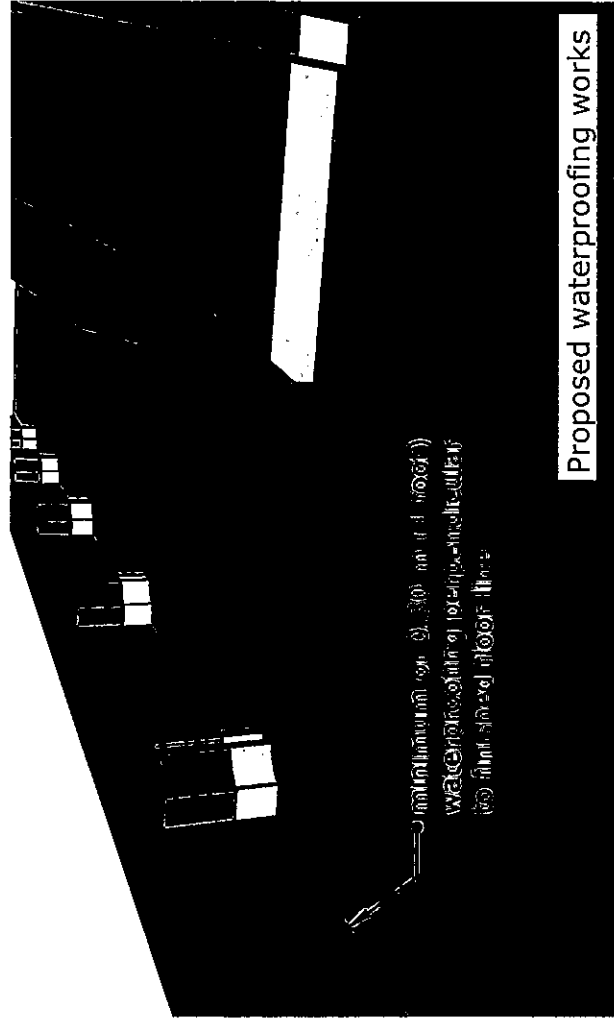
**A :: 5th floor roof deck(North side)**

scale: 1=250 mts

002



• Application of Waterproofing mixture



Proposed waterproofing works

Area = ± 273 square meters, Perimeter 114 m \* 0.30 m = 35 sq.m.



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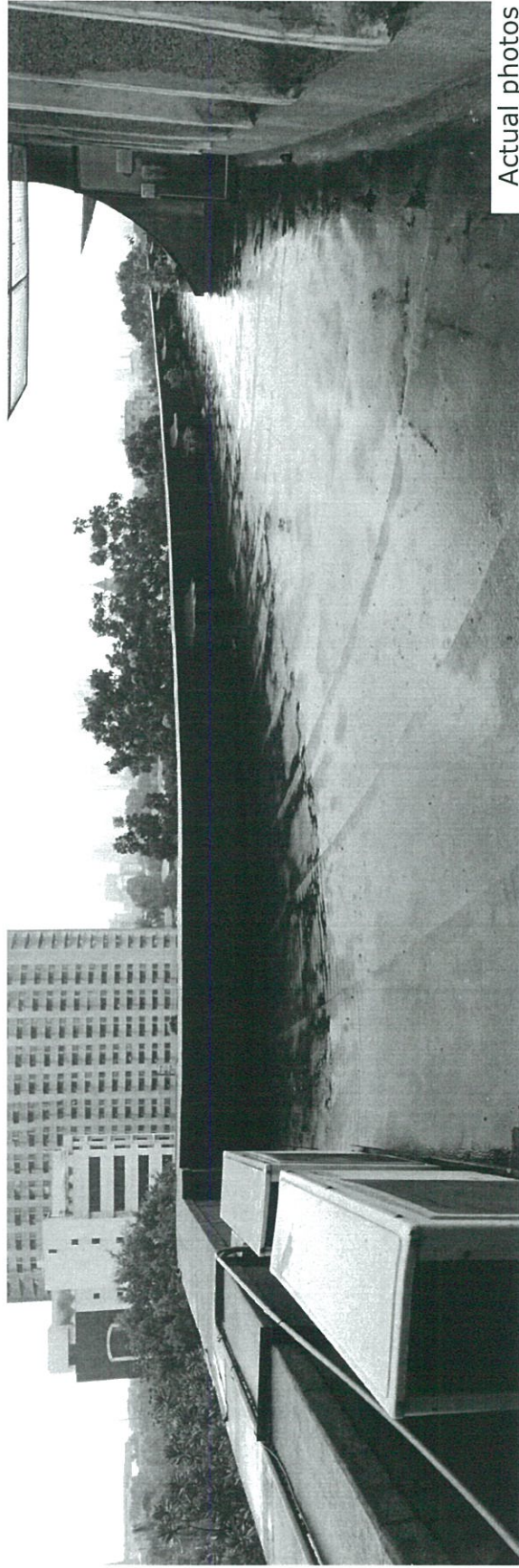
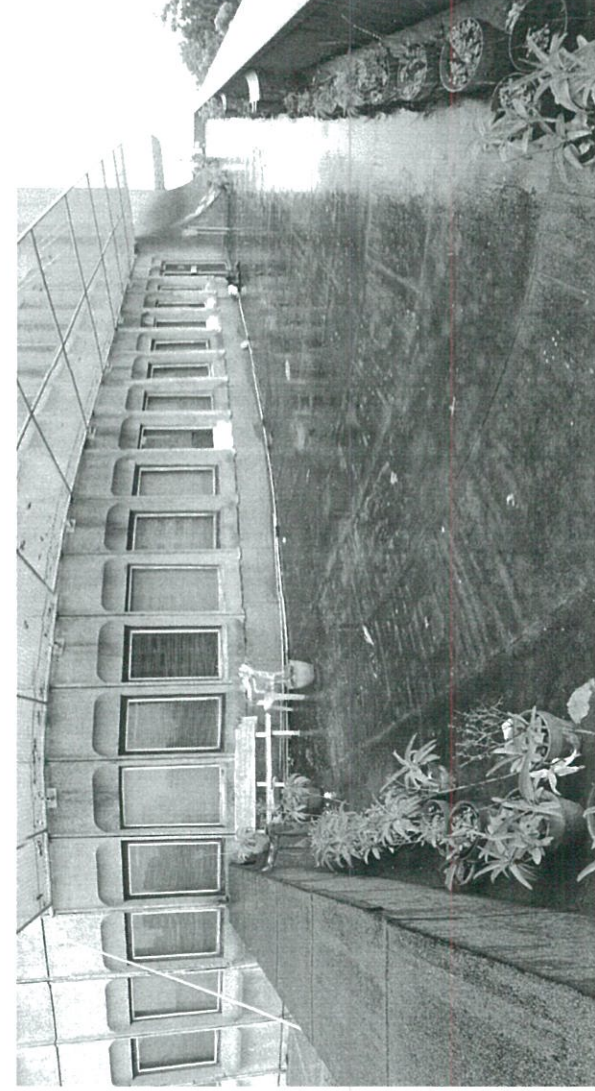
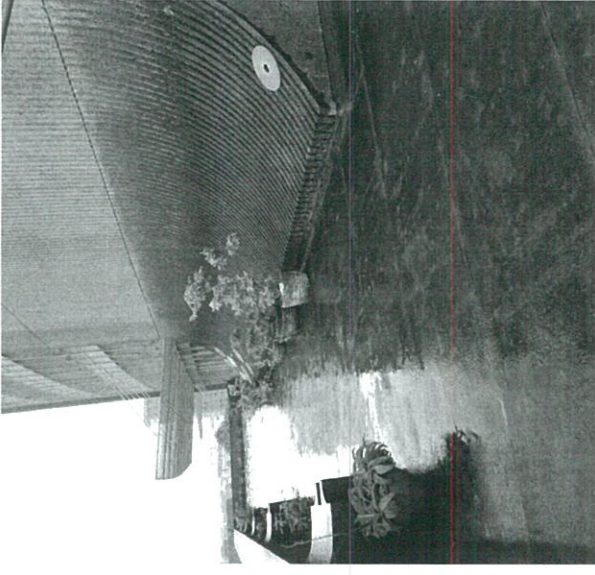
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**A** 002

**A :: 5th floor roof deck(North side)**

scale: 1=250 mts



Actual photos

Area = ± 273 square meters, Perimeter 114 m \* 0.30 m = 35 sq.m.



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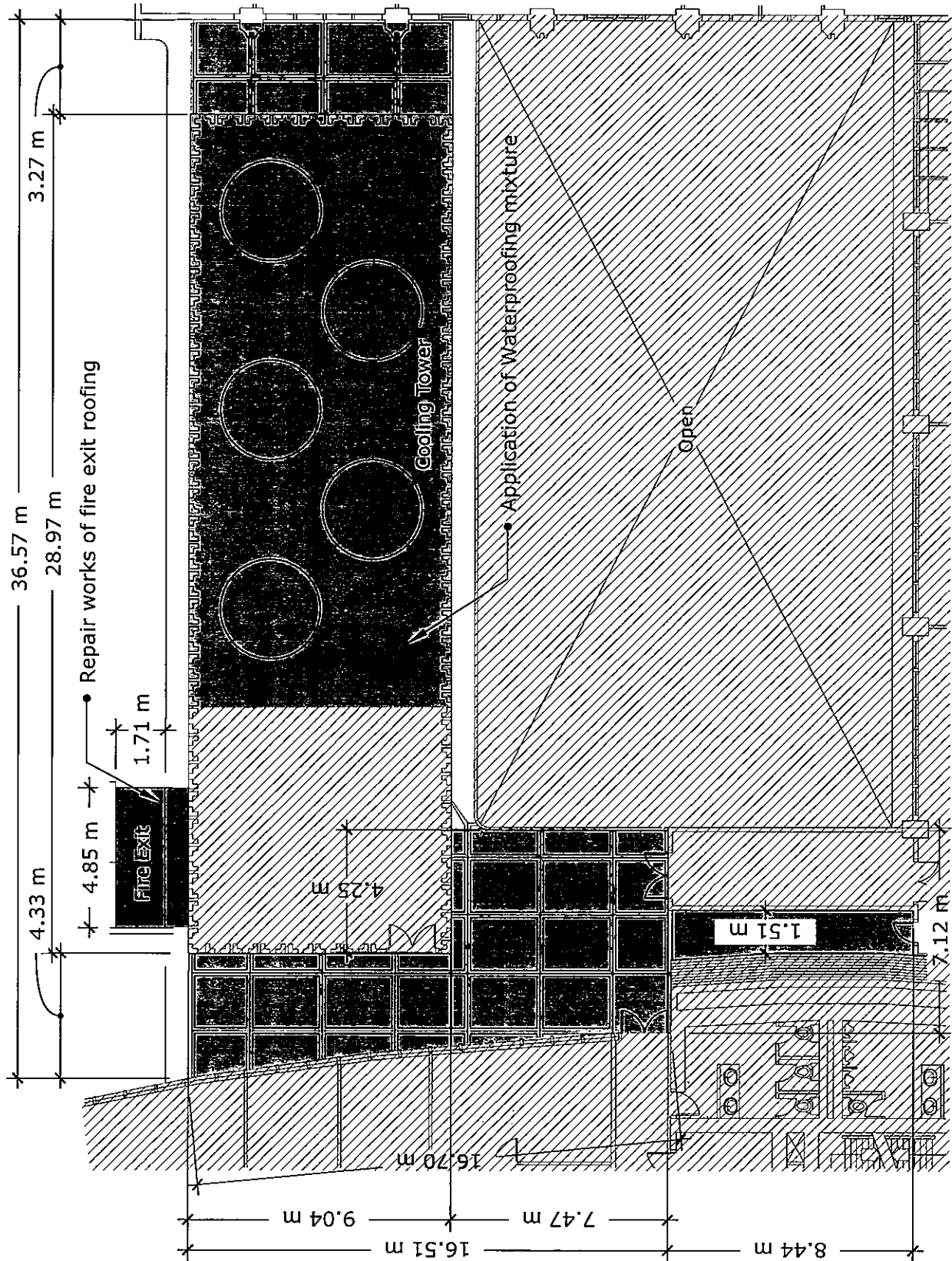
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**A :: 5th floor roof deck(South side)**

002 scale: 1=250 mts

Area = ± 460 square meters, Perimeter = 200 \* 0.30m = 147 sq.m.

07 June 2018

Printed Name & Signature



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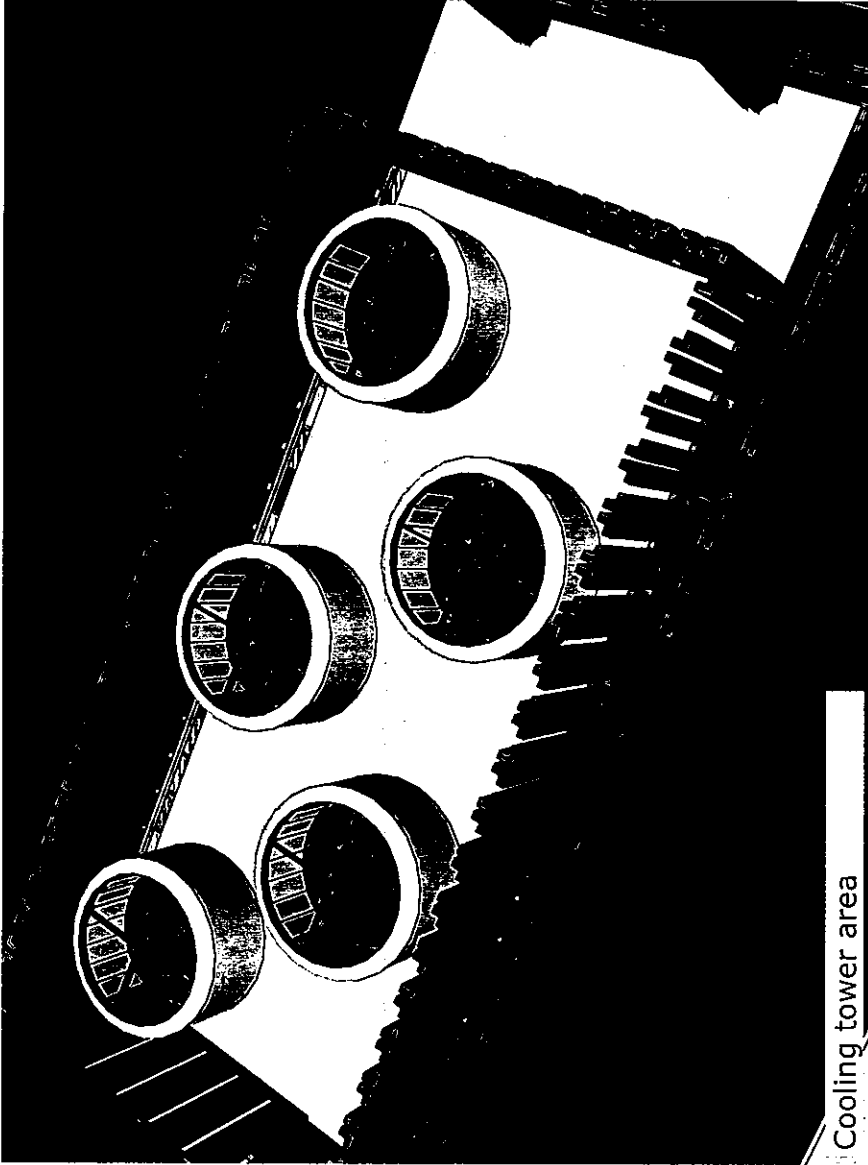
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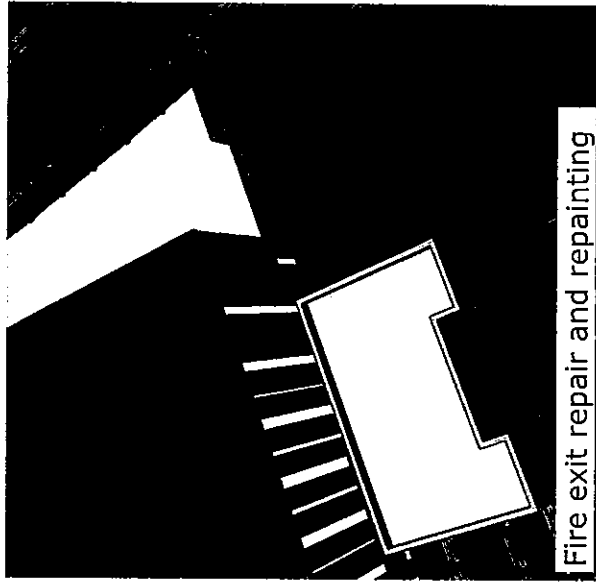
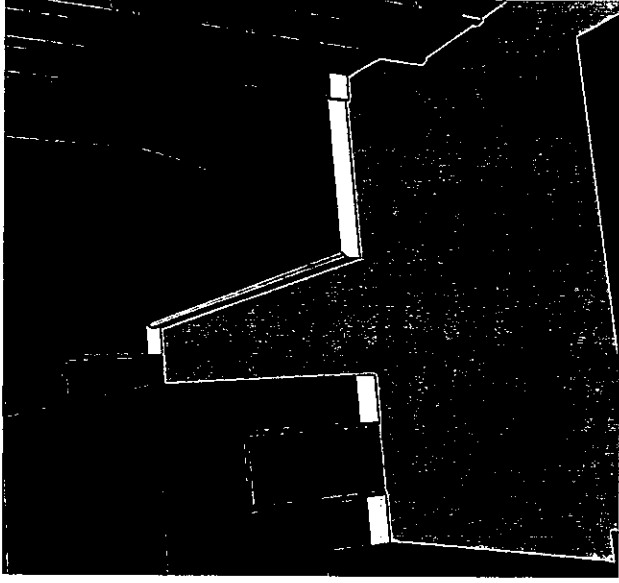
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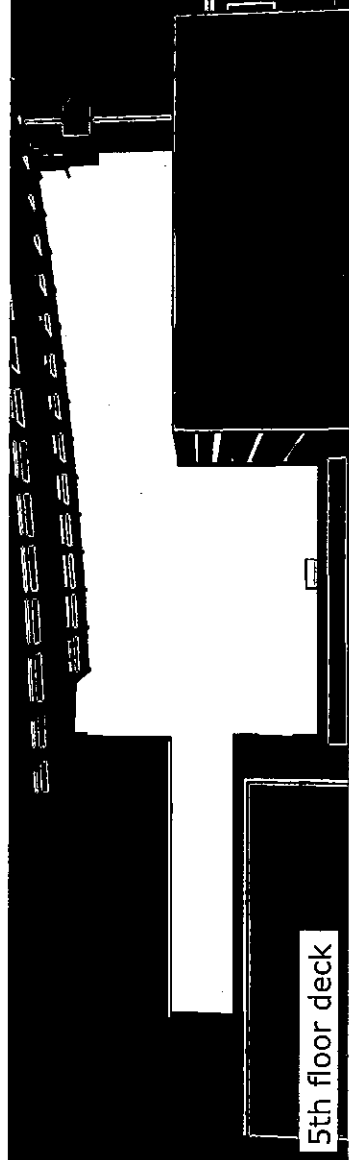
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Cooling tower area



Fire exit repair and repainting



5th floor deck

A :: 5th floor roof deck(South side)

002  
scale: 1=250 mts

Area = ± 460 square meters, Perimeter = 200 \* 0.30m = 147 sq.m.



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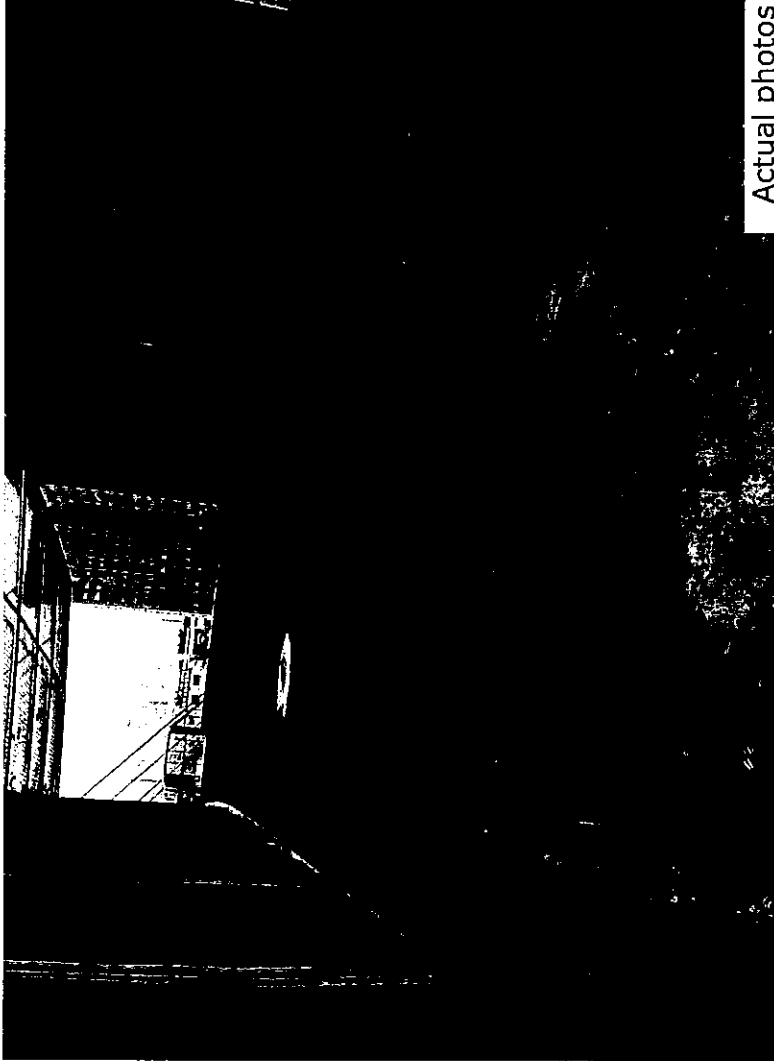
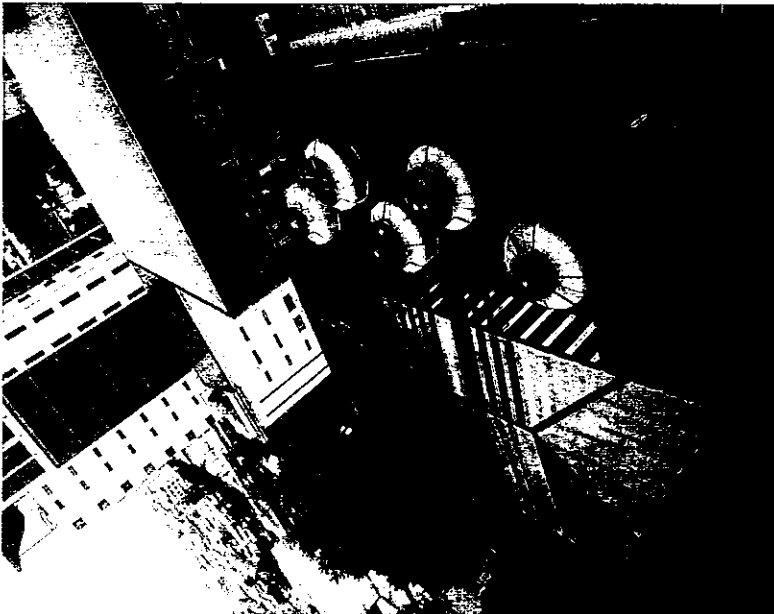
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Actual photos



Fire Exit roofing



Area = ± 460 square meters



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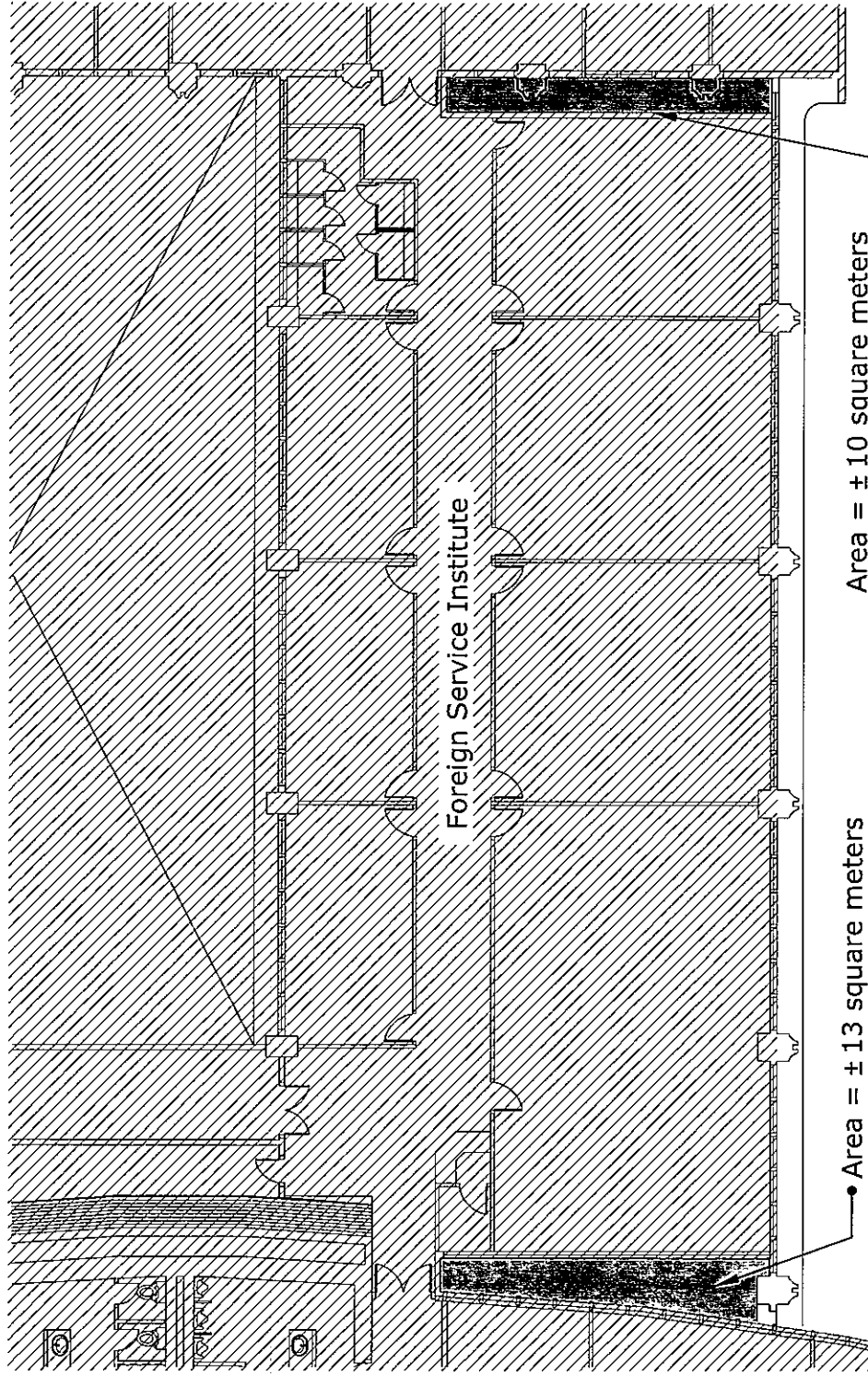
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• Area = ± 13 square meters  
Perimeter = 22 meters

• Area = ± 10 square meters  
Perimeter = 21 meters

**A** :: 5th floor roof deck(Apron side)

002

scale: 1=200 mts

Area = ± 22 square meters, Perimeter = 43 m \* 0.30 m = 13 sq.m.

07 June 2018



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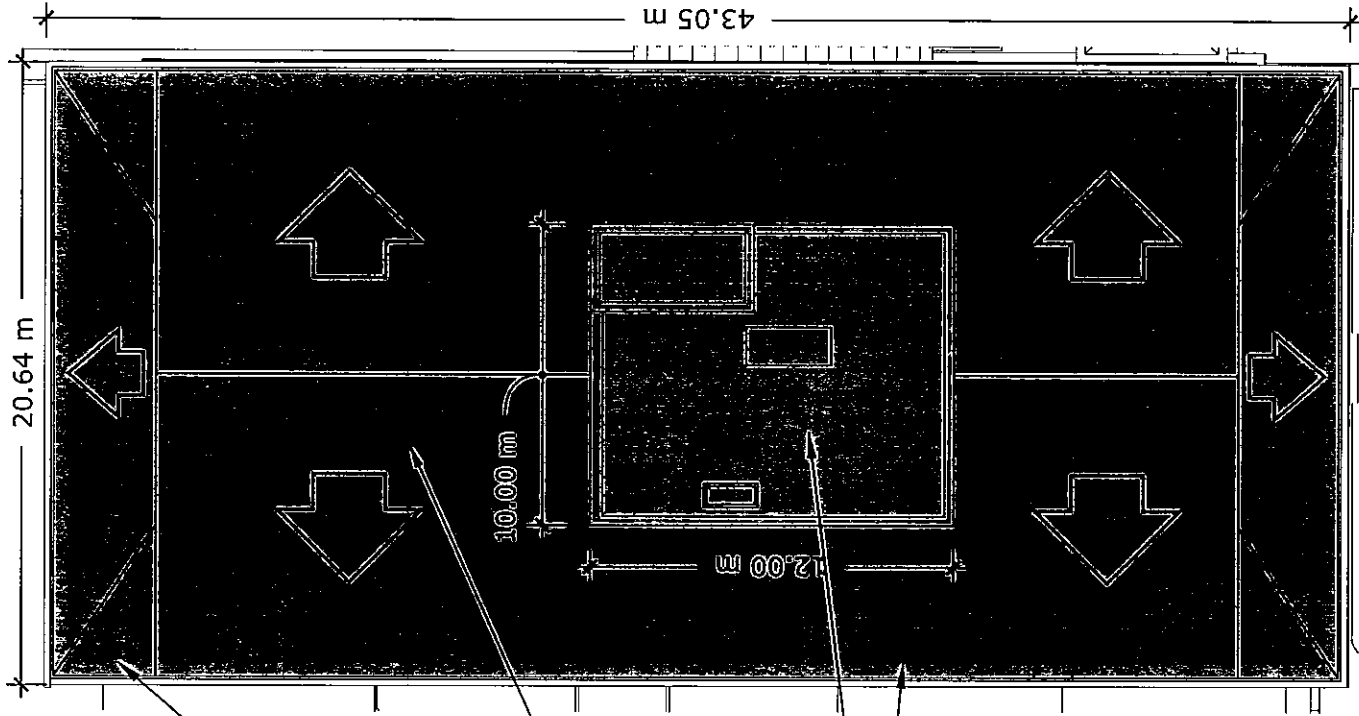
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**A** :: South Wing Annex roof deck

002 scale: 1=250 mts



Concrete gutter

South Wing Annex roofing to be  
Repaired and repaint with Roof gard

**SWA Roofing (20% slope)**

Roof area = ± 842 sq.m.

Application of Waterproofing mixture

**Waterproofing works**

Area = ± 97 square meters

Perimeter = 40m \* 0.30m = 12 sq.m.

Concrete gutter perimeter = 128 meters

Perimeter area = 116 sq.m.





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**A** :: South Wing Annex roof deck

002 scale: 1=200 mts

### SWA Roofing (20% slope)

Roof area = ± 842 sq.m.

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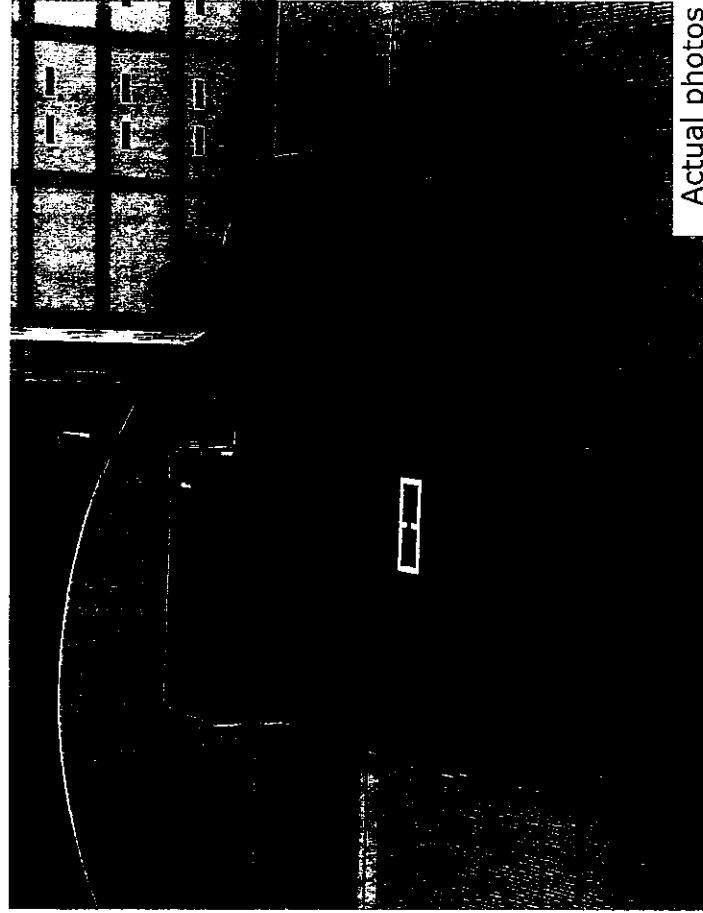
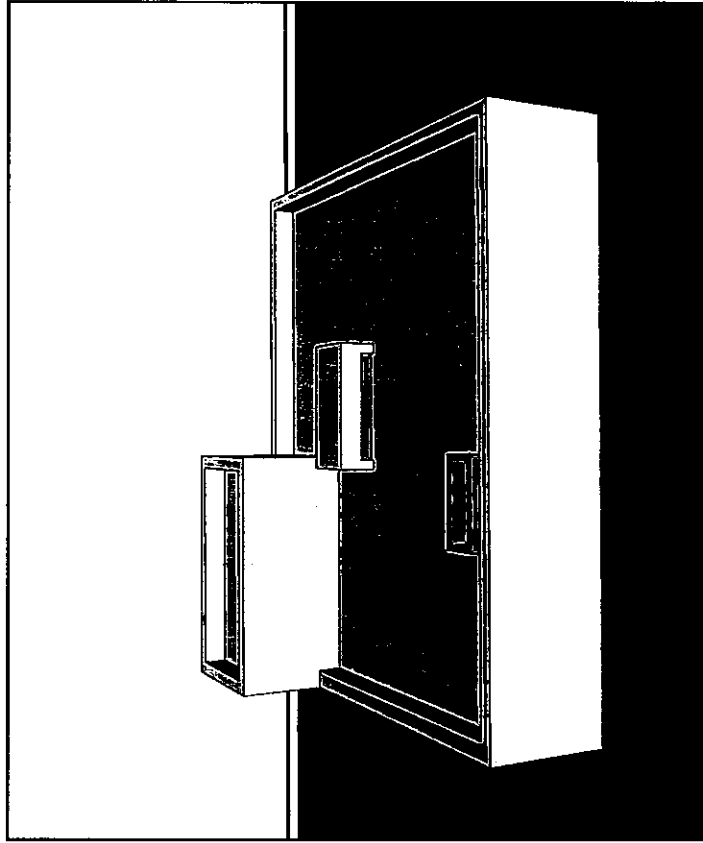
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Satellite View



Actual photos



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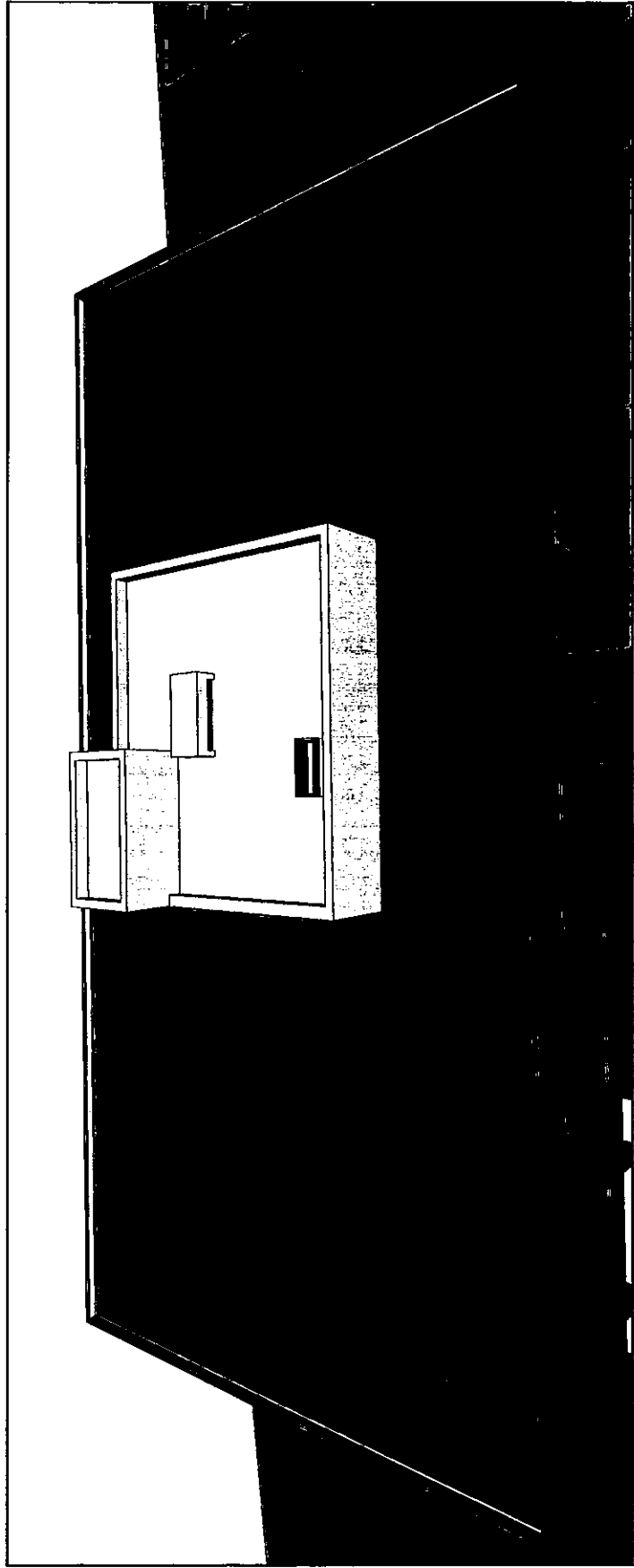
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**A :: South Wing Annex roofing**

000 scale: 1=200 mts

**SWA Roofing (20% slope)**

Roof area = ± 842 sq.m.



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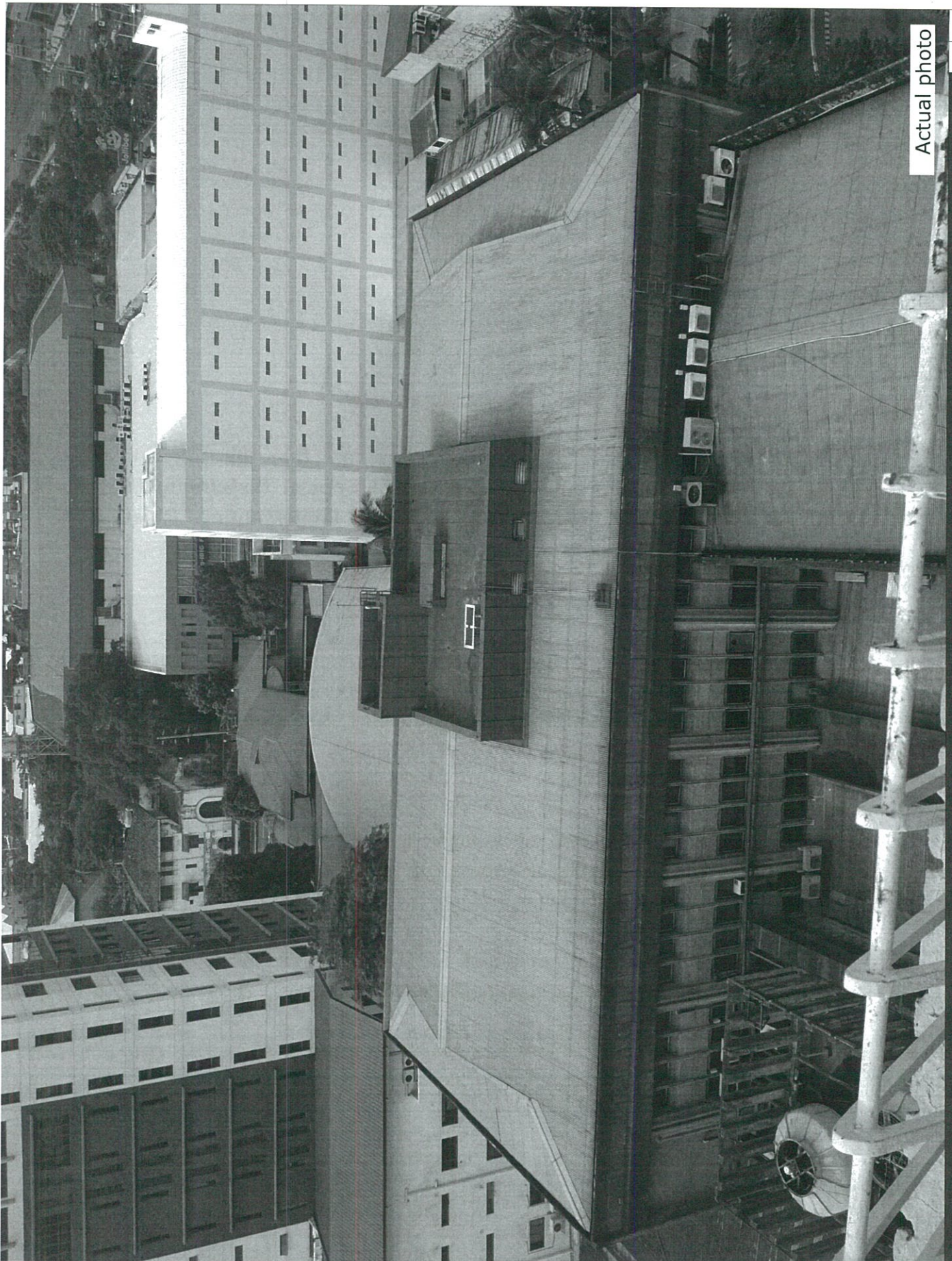
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HEAD EMS  
OAMSS-PPMD

APPROVED BY:

**F. FLORES**  
ACTING DIRECTOR  
OAMSS-PPMD

END-USER  
REPRESENTATIVES:

Printed Name & Signature



Actual photo



**DEPARTMENT OF FOREIGN AFFAIRS**

2330 Roxas Blvd., Pasay City,  
1300 Philippines  
Tel.No. 834-4000  
www.dfa.gov.ph

PREPARED BY:

A.M.TARAGUA  
OAMSS-PPMD

CHECKED BY:

B.MIRANDA JR.  
OAMSS-PPMD

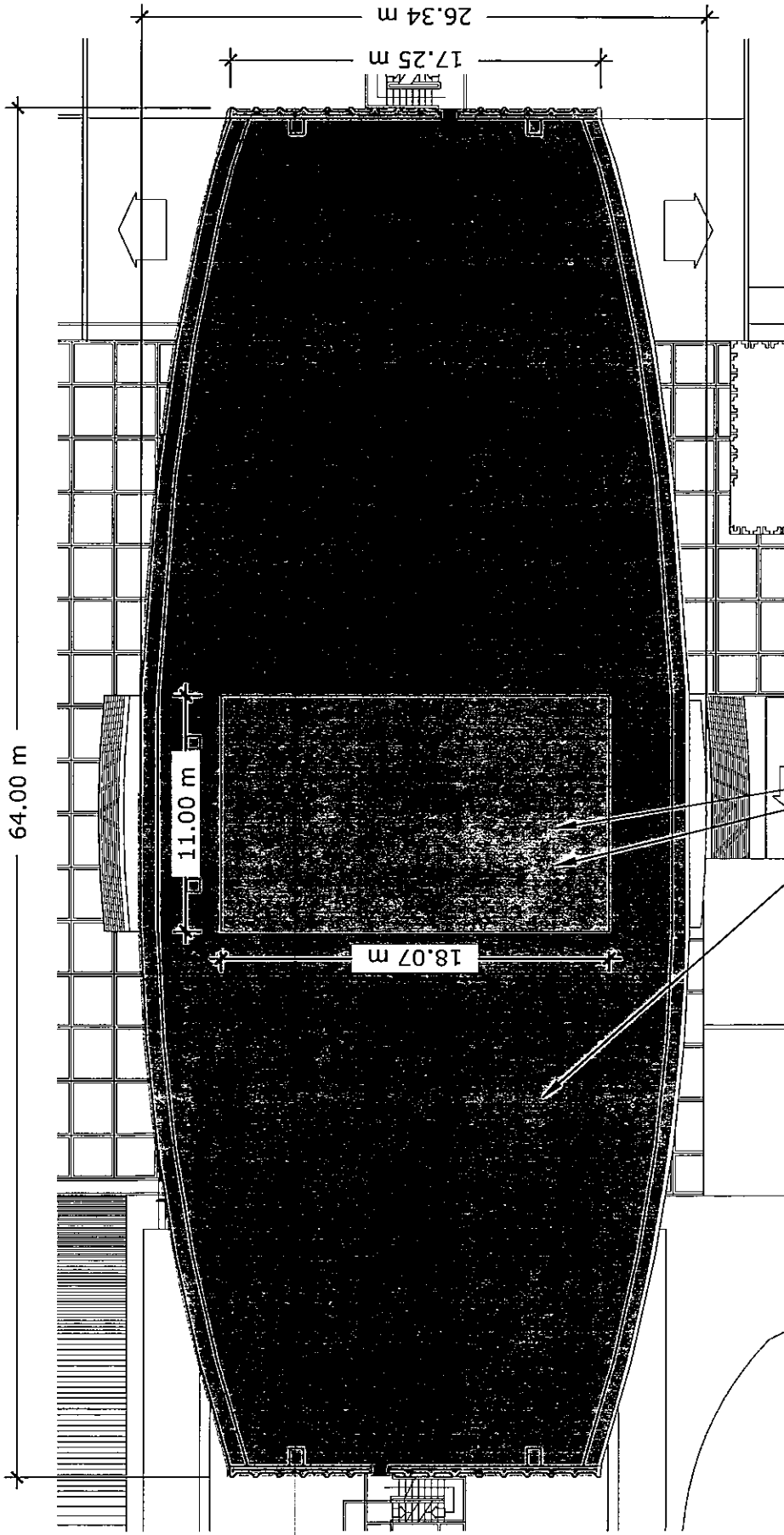
R. SAMBITAN  
HEAD EMS  
OAMSS-PPMD

APPROVED BY:

F. FLORES  
ACTING DIRECTOR  
OAMSS-PPMD



END-USER  
REPRESENTATIVES:

Printed Name & Signature



DFA Main Roof deck Area = ± 1260 sq.m.,  
Perimeter = 164 meters \* 0.30 m = 50  
sq.m.

● Roof deck machine room  
Area = ±220 square meters,  
● Application of Waterproofing mixture

-  - DFA Main roof deck
-  - Machine room roof deck

**A** :: DFA Main building roof deck  
000 scale: 1 = 300 mts

A  
000

DFA Main building roof deck  
scale: 1=300 mts



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OAMSS-PPMD

R. SAMBITAN  
HEAD EMS  
OAMSS-PPMD

APPROVED BY:

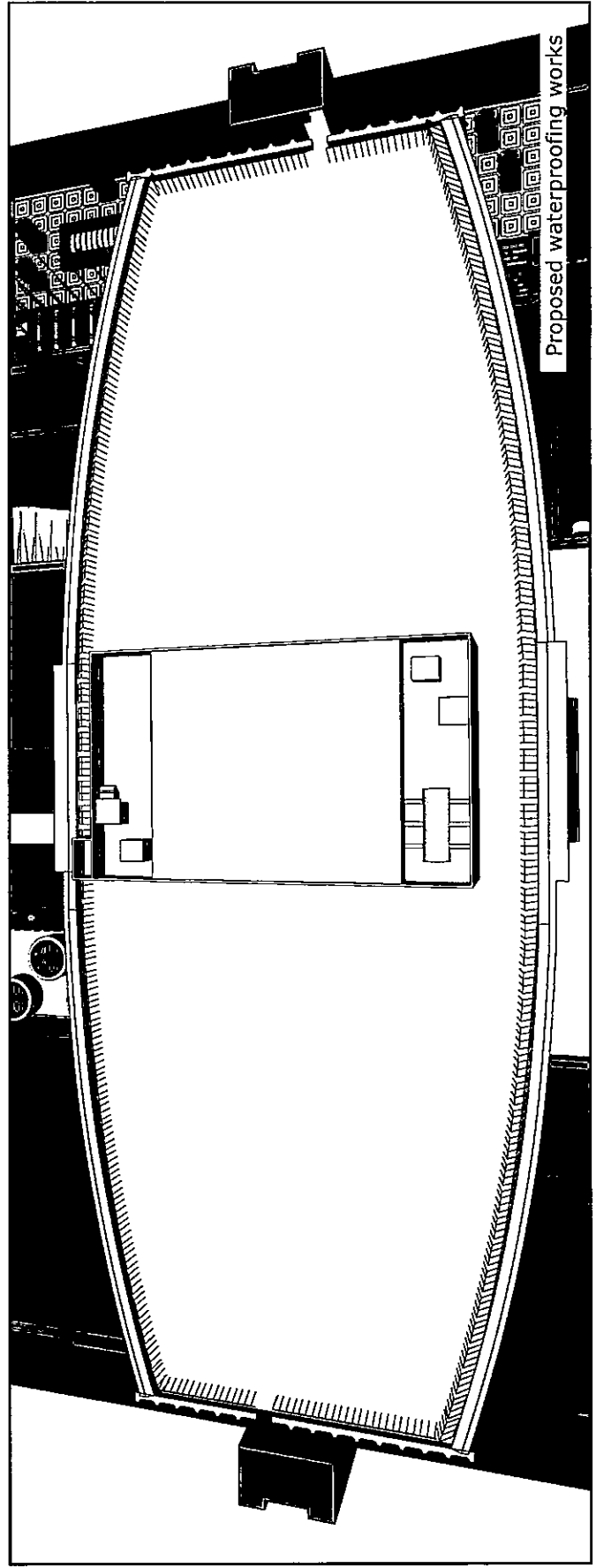
F. FLORES  
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Civil Service

Satellite Image



Proposed waterproofing works

07 June 2018



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CHECKED BY:

**B. MIRANDA JR.**  
OAMSS-PPMD

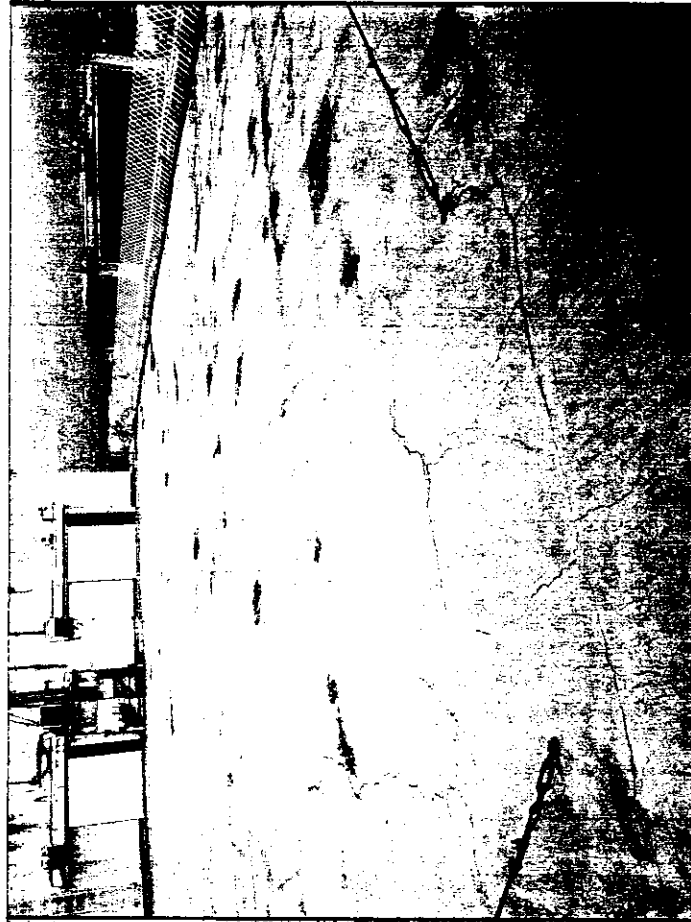
**R. SAMBITAN**  
HEAD EMS  
OAMSS-PPMD

APPROVED BY:

**F. FLORES**  
ACTING DIRECTOR  
OAMSS-PPMD

END-USER  
REPRESENTATIVES:

*Printed Name & Signature*



Actual photos of Roof deck



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OAMSS-PPMD

CHECKED BY:

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OAMSS-PPMD

R. SAMBITAN  
HEAD EMS  
OAMSS-PPMD

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Actual photos Machine room roof deck



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R. SAMBITAN  
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OAMSS-PPMD

APPROVED BY:

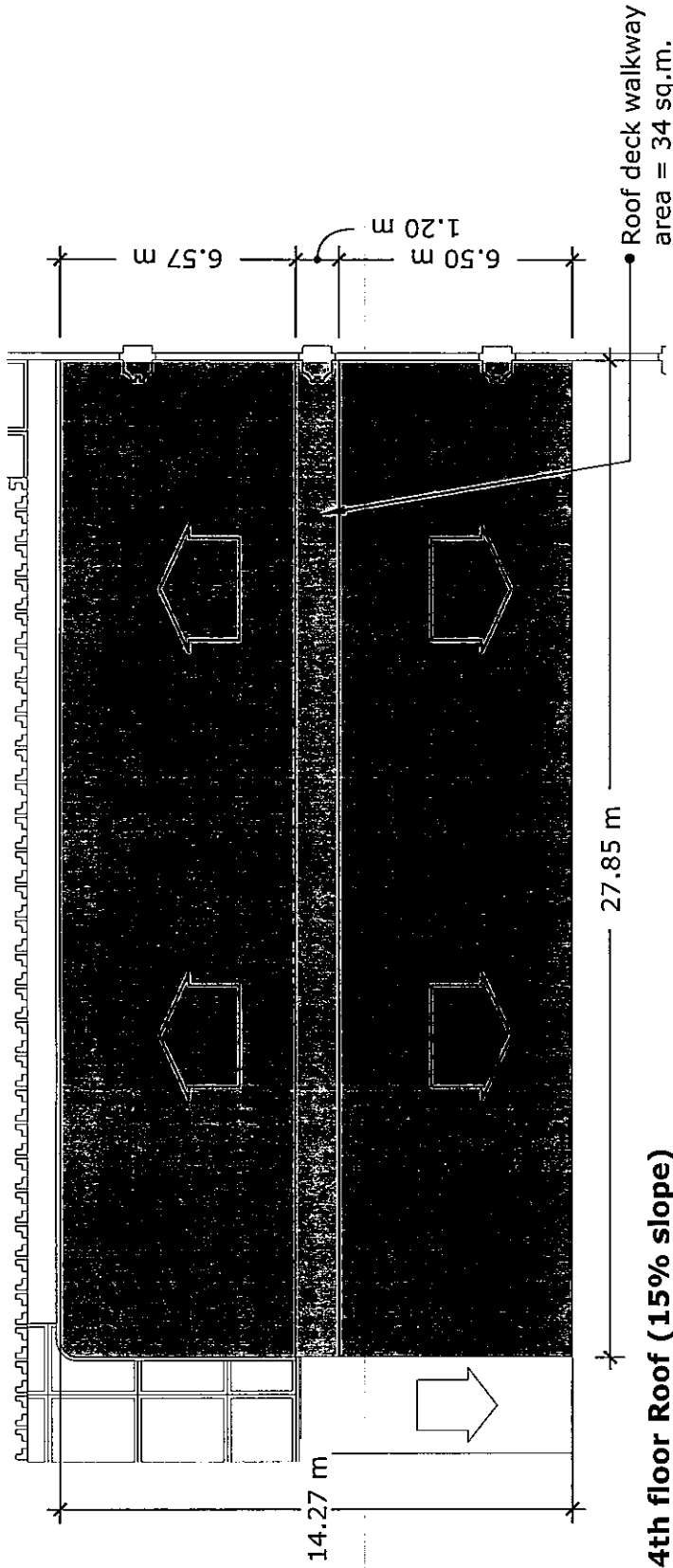
F. FLORES  
ACTING DIRECTOR  
OAMSS-PPMD

END-USER  
REPRESENTATIVES:

Printed Name & Signature

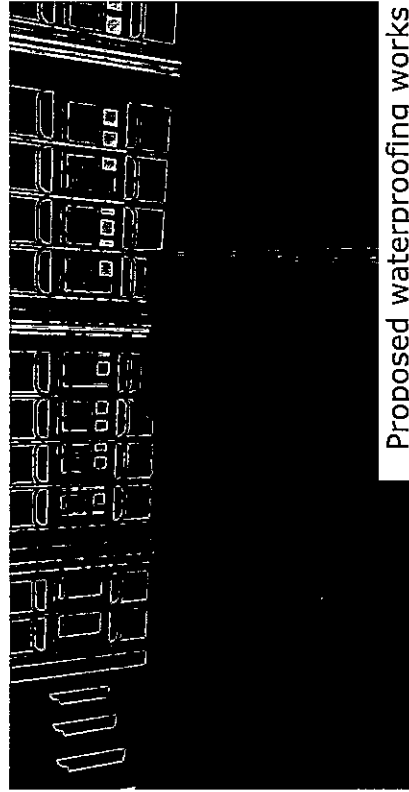
**A :: 4th floor Roofing**

002 scale: 1=200 mts

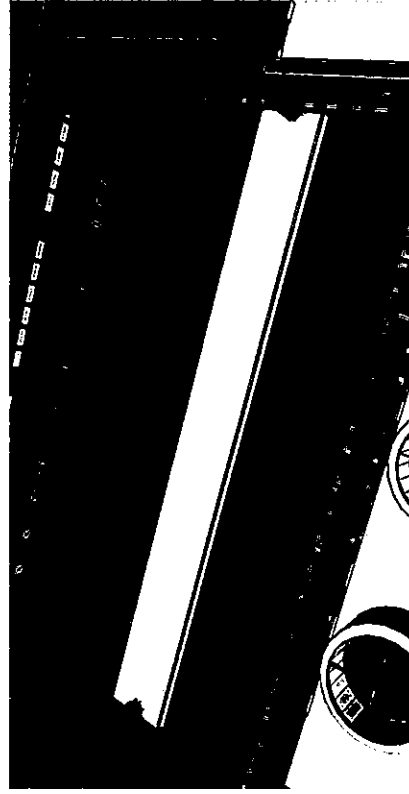


**4th floor Roof (15% slope)**

Roof area = ± 412 sq.m.



Proposed waterproofing works



- For roof replacement (Multi Rib type)

- For waterproofing works





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OAMSS-PPMD

CHECKED BY:

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OAMSS-PPMD

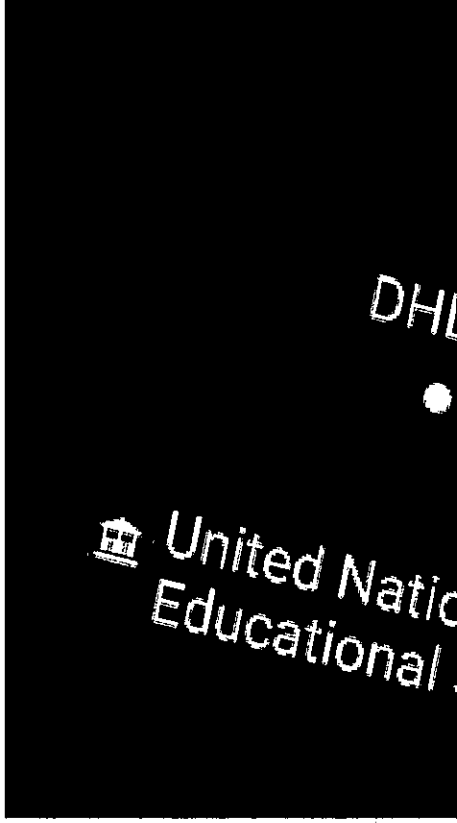
**R. SAMBITAN**  
HEAD EMS  
OAMSS-PPMD

APPROVED BY:

**F. FLORES**  
ACTING DIRECTOR  
OAMSS-PPMD

END-USER  
REPRESENTATIVES:

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**A :: 4th floor Roofing**

000  
scale: 1=200 mts

Actual photos



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HEAD EMS  
OAMSS-PPMD

APPROVED BY:

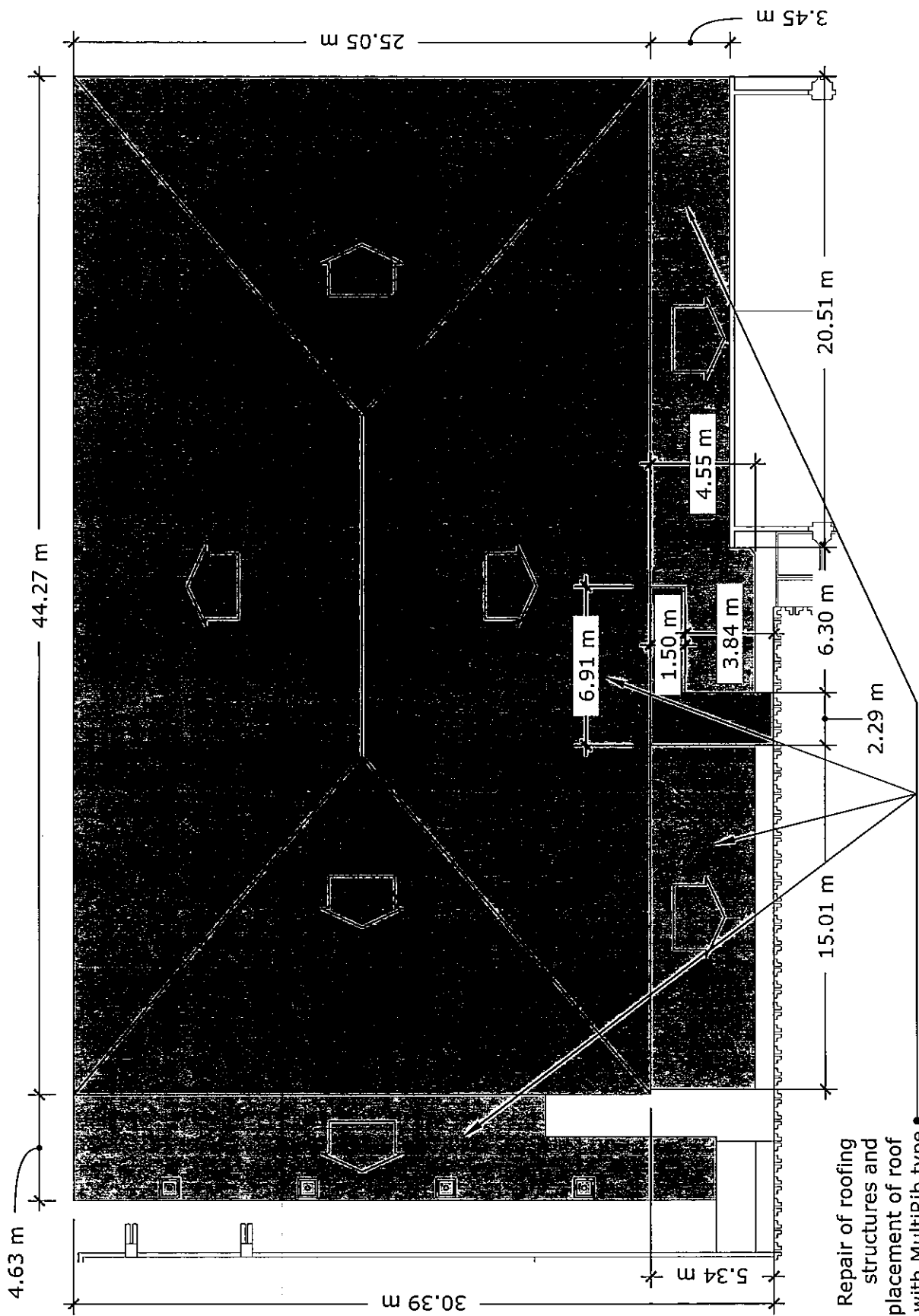
F. FLORES  
ACTING DIRECTOR  
OAMSS-PPMD

END-USER  
REPRESENTATIVES:

Printed Name & Signature

A  
000

scale: 1=250 mts



Repair of roofing  
structures and  
replacement of roof  
with MultiRib type

■ - 2nd Floor roofing area (20% slope) = ± 1,172 sq.m.

■ - Ground Floor roofing (20% slope) = ± 296 sq.m.



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OAMSS-PPMD

**R. SAMBITAN**  
HEAD EMS  
OAMSS-PPMD

APPROVED BY:

**F. FLORES**  
ACTING DIRECTOR  
OAMSS-PPMD

END-USER  
REPRESENTATIVES:



Printed Name & Signature

**A** :: Carpark building and Authentication roofing

000

scale: 1=250 mts

07 June 2018

A 26





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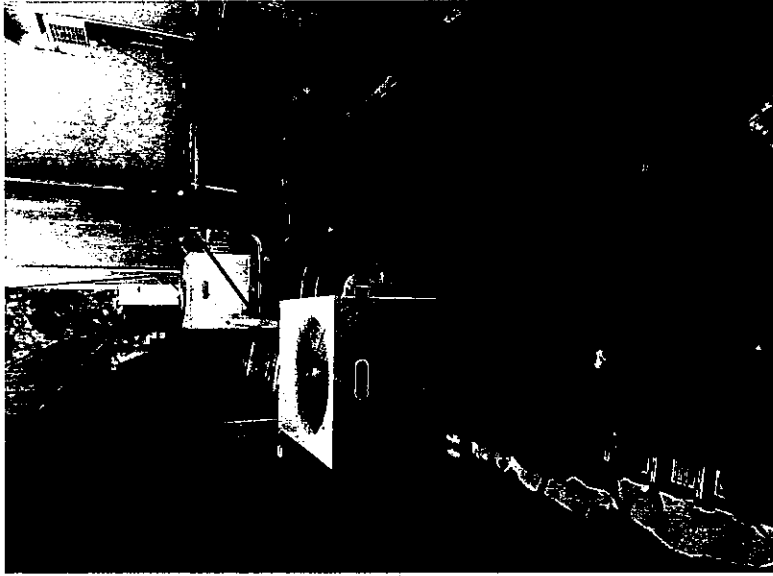
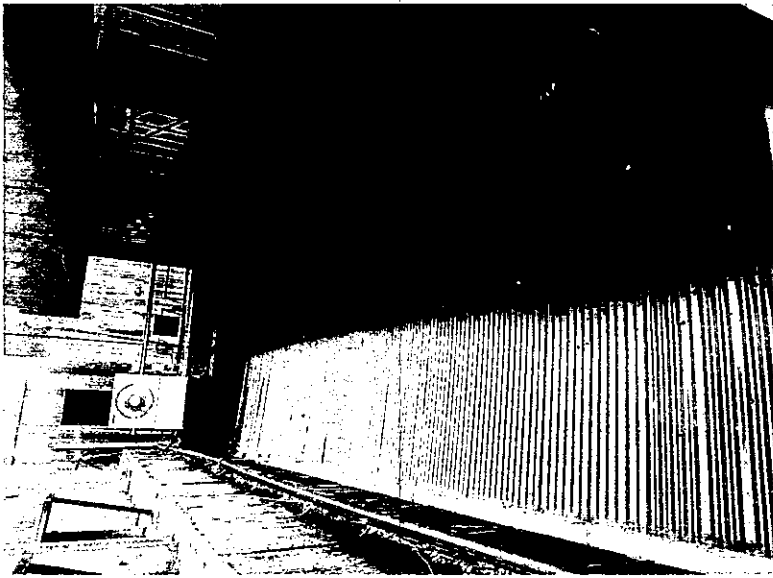
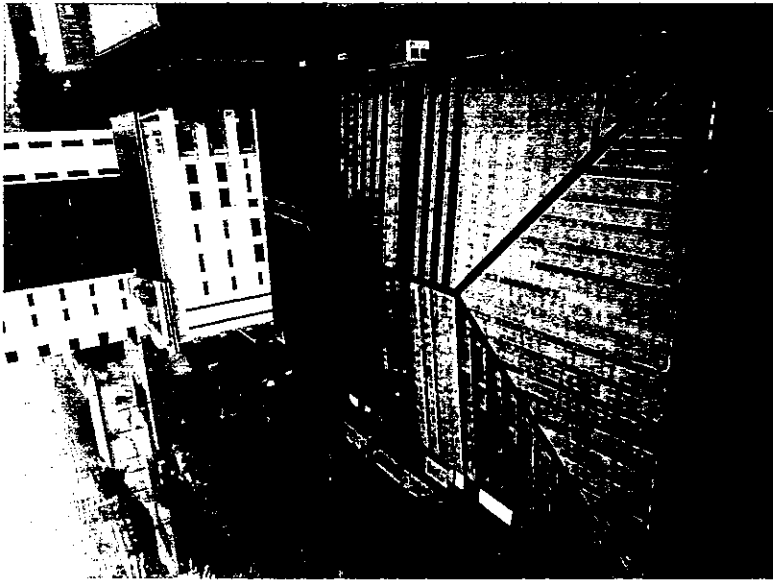
R.SAMBITAN  
HEAD EMS  
OAMSS-PPMD

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F.FLORES  
ACTING DIRECTOR  
OAMSS-PPMD

END-USER  
REPRESENTATIVES:

Printed Name & Signature



**A** :: Carpark building and Authentication roofing (Photos)

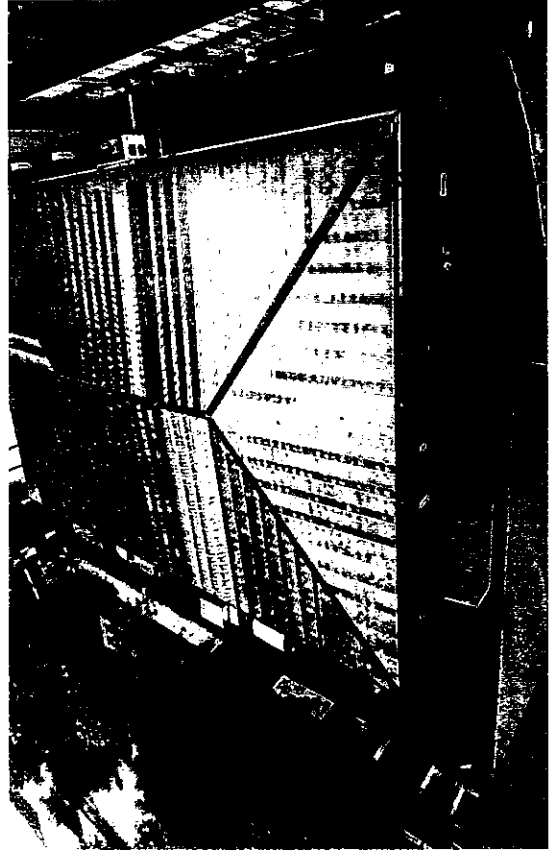
000 scale: 1=250 mts

**Car Park Roof (20% slope)**

Roof area = ± 1,172 sq.m.

**Authentication roof (20% slope)**

Roof area = ± 296 sq.m.





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PREPARED BY:

**A.M.TARAGUA**  
OAMSS-PPMD

CHECKED BY:

**B.MIRANDA Jr.**  
OAMSS-PPMD

**R. SAMBITAN**  
HEAD EMS  
OAMSS-PPMD

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OAMSS-PPMD

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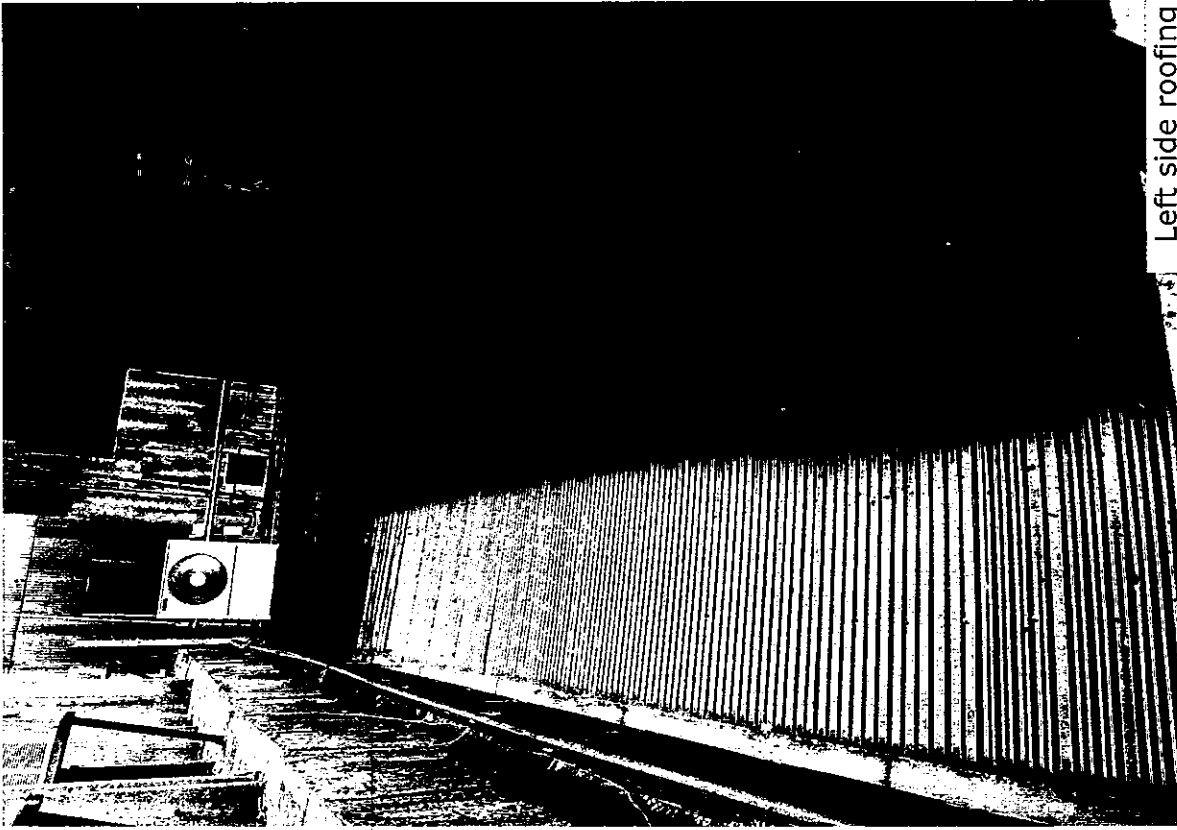
**A** :: **Carpark building and Authentication roofing**

000

scale: 1 = 250 mts



Right side roofing



Left side roofing

Actual photos



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OAMSS-PPMD

R. SAMBITAN  
HEAD EMS  
OAMSS-PPMD

APPROVED BY:

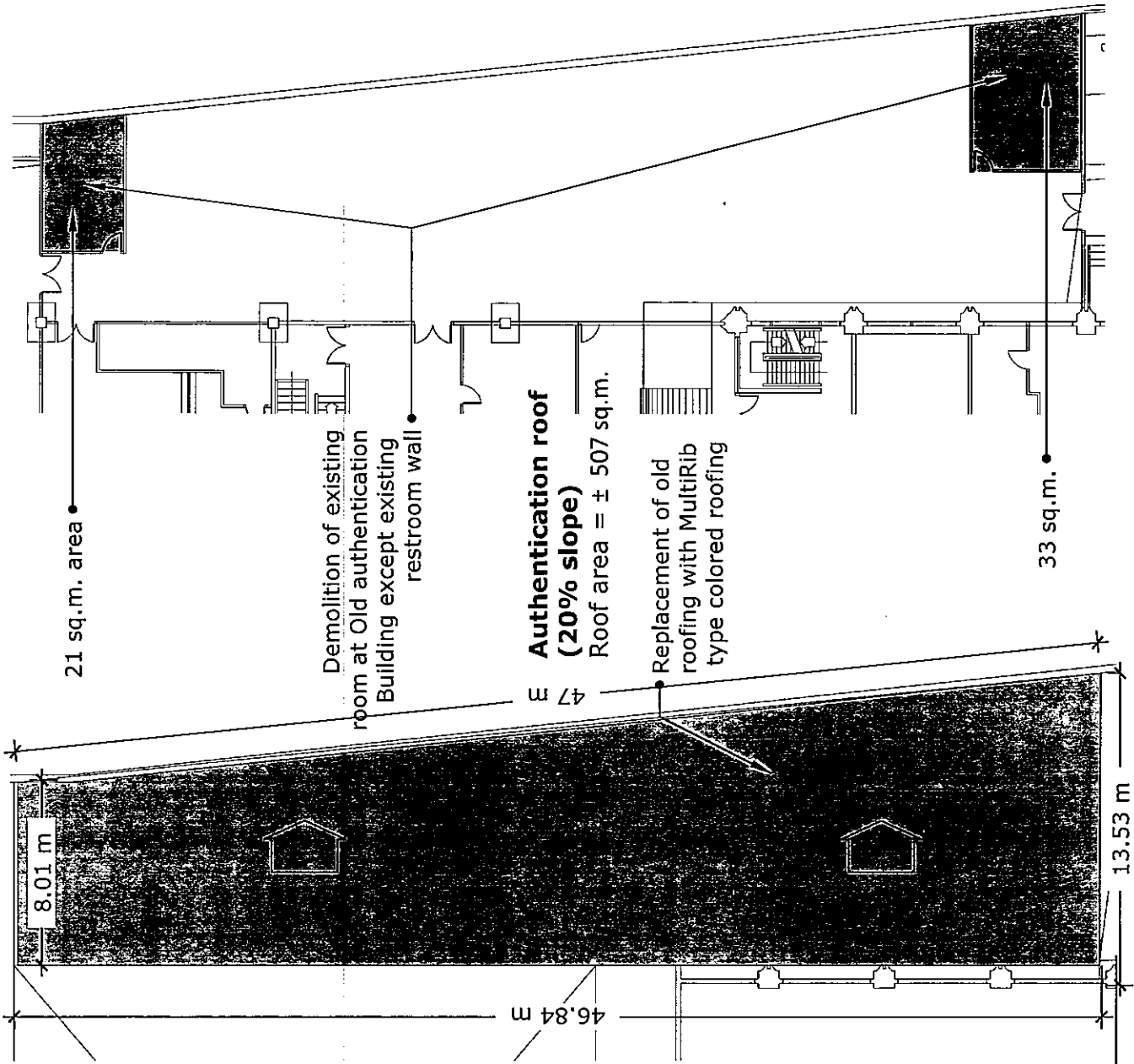
F. FLORES  
ACTING DIRECTOR  
OAMSS-PPMD

END-USER  
REPRESENTATIVES:

Printed Name & Signature

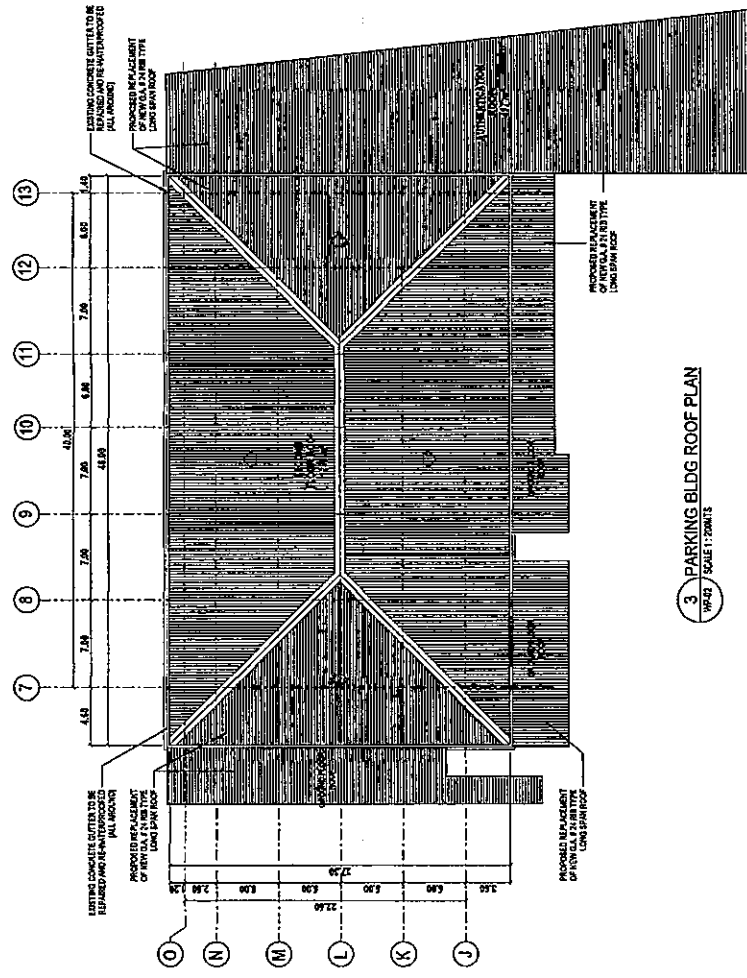
**A :: Old Authentication layout**

000 scale: 1 = 275 mts

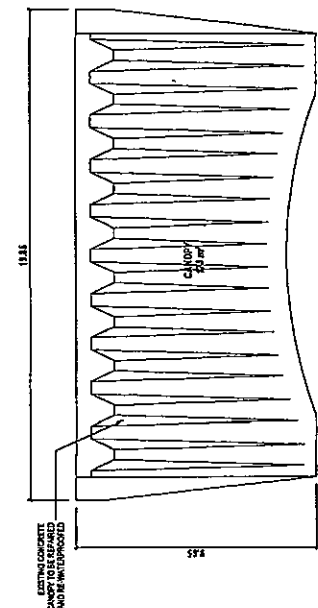




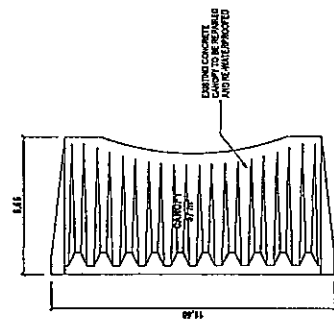




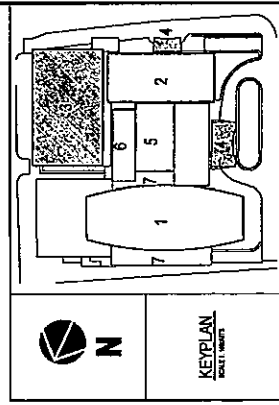
**3. PARKING BLDG ROOF PLAN**  
 WP-02  
 SCALE 1:2000'S



**4. CONCRETE CANOPY**  
 WP-03  
 SCALE 1:1000'S

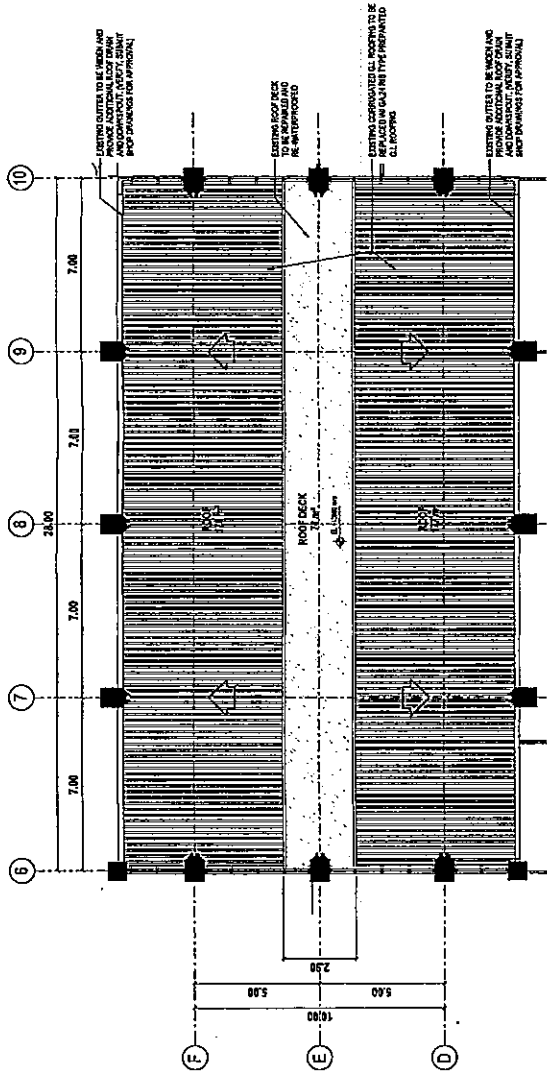


- LEGEND:**
1. MAIN BUILDING
  2. SOUTH WING
  3. PARKING BUILDING
  4. CONCRETE CANOPY
  5. 4TH FLOOR ROOF
  6. COOLING TOWER
  7. 5TH FLOOR DECK
  8. PLAZA PARKING

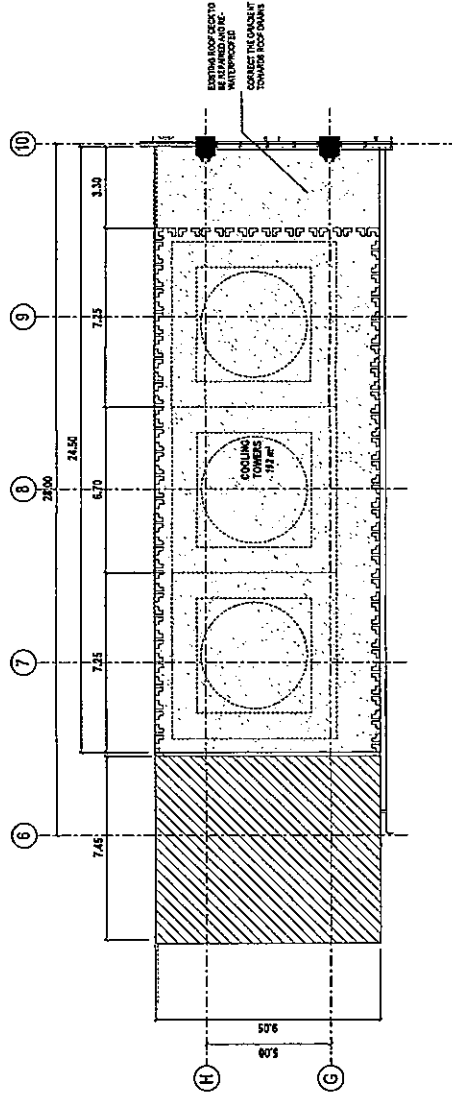


REPUBLIC OF THE PHILIPPINES DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS UNITED PROJECT MANAGEMENT OFFICE <b>BUILDINGS AND SPECIAL PROJECTS MANAGEMENT CLUSTER</b> NPS COMPOUND, 700 STREET, PORT AREA, MANILA	PROJECT AND LOCATION <b>PROPOSED REPAIR/REHABILITATION/RE-WATERPROOFING OF EXISTING ROOF DECK, ROOFINGS, AND PARKING PLAZA OF DFA BUILDING</b> 234 ROTAR BOULEVARD, PAAAY CITY	SHEET CONTENTS MAIN BLDG ROOF PLAN CONCRETE CANOPY	AUTOCAD DESIGNED BY: J. D. LINDO CHECKED BY: J. D. LINDO REVIEWED BY: J. D. LINDO APPROVED BY: J. D. LINDO	SUBMITTED ARCHITECT: <i>[Signature]</i> PROJECT COORDINATOR: <i>[Signature]</i>	RECOMMENDING APPROVAL: RECOMMENDED BY: <i>[Signature]</i> APPROVED BY: <i>[Signature]</i>	APPROVED MA. TERESA E. DE VERA UNIVERSITY	SKETCH NO. WP-02 2 OF 4
	2024						





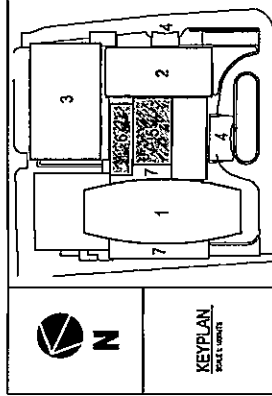
5 4TH FLOOR ROOF PLAN  
WP-03 / SCALE 1:1000



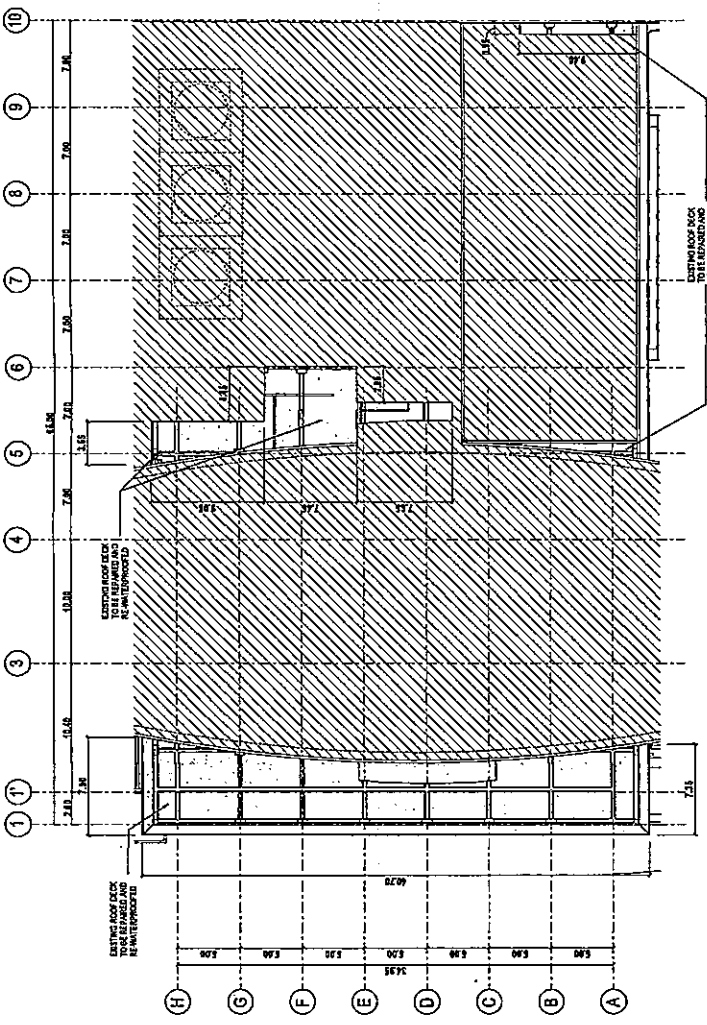
6 COOLING TOWER ROOF DECK  
WP-03 / SCALE 1:1000

LEGEND:

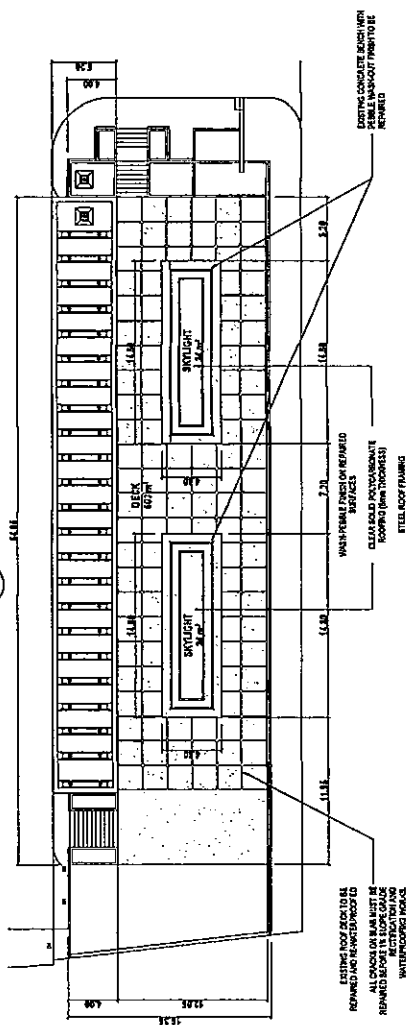
1. MAIN BUILDING
2. SOUTH WING
3. PARKING BUILDING
4. CONCRETE CANOPY
5. 4TH FLOOR ROOF
6. COOLING TOWER
7. 5TH FLOOR DECK
8. PLAZA PARKING



	PROJECT AND LOCATION: <b>PROPOSED REPAIR/REHABILITATION/RE-WATERPROOFING OF EXISTING ROOF DECK, ROOFINGS AND PARKING PLAZA OF DFA BUILDING</b> 228 ROTUNDA BOULEVARD, PASAY CITY	SHEET CONTENTS: 4TH FLOOR ROOF PLAN COOLING TOWER ROOF DECK PLAN	APPROVALS: CITY ENGINEER (TOWNSHIP) CITY ENGINEER (MUNICIPALITY) CITY ENGINEER (PROVINCE)	RECOMMENDING APPROVAL: MANUEL E. JUANICO WILSON S. SORIANO REYNER M. DEL CASTILLO	APPROVED: MA. THERESA B. DION-DE VERA UNIPREP CHIEF	SHEET NO. WP-03 3 / 4
	REVISIONS: NO. 1: 10/10/2023 NO. 2: 10/10/2023 NO. 3: 10/10/2023	DESIGNER: MANUEL E. JUANICO WILSON S. SORIANO REYNER M. DEL CASTILLO	CHECKER: MANUEL E. JUANICO WILSON S. SORIANO REYNER M. DEL CASTILLO	DATE: 10/10/2023	PROJECT NO.: 1000-CORASON-2ND-DISTRICT-PORT-AREA-MANILA	DRAWN BY: MA. THERESA B. DION-DE VERA



7. 5TH FLOOR ROOF DECK (NORTH & SOUTH SIDE)  
SCALE 1:2000



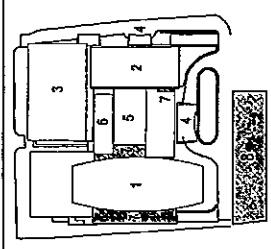
8. PLAZA PARKING PLAN  
SCALE 1:2000

LEGEND:

- 1. MAIN BUILDING
- 2. SOUTH WING
- 3. PARKING BUILDING
- 4. CONCRETE CANOPY
- 5. 4TH FLOOR ROOF
- 6. COOLING TOWER
- 7. 5TH FLOOR DECK
- 8. PLAZA PARKING



KEYPLAN  
SCALE 1:2000



REPUBLIC OF THE PHILIPPINES DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS UNITED PROJECT MANAGEMENT OFFICE BUILDINGS AND SPECIAL PROJECTS MANAGEMENT CLUSTER HIGH COMPOUND, 2ND STREET, PORT AREA, MANILA	PROJECT APPLICATION <b>PROPOSED REPAIR/REHABILITATION- WATERPROOFING OF EXISTING ROOF DECK, ROOFINGS, AND PARKING PLAZA OF DFA BUILDING</b> 228 ROSAR BOULEVARD, PABAY CITY	SHEET CONTINUE 5TH FLOOR ROOF DECK (NORTH & SOUTH SIDE) PLAZA PARKING PLAN	AUTOCAD: BUNYANUEL S. DUNDO CHECKED: CRAYLEN S. BARRERA APPROVED: MARJORIE C. DEL CASTILLO PROJECT MANAGER	MANAGER: ATTY. JOSEPHSON DOMINGO PROJECT MANAGER	RECOMMENDATION APPROVAL:  M.A. THERESA B. DIZON- DE VEGA UNIVERSITY OF THE PHILIPPINES	SHEET NO. 
	APPROVED:  M.A. THERESA B. DIZON- DE VEGA UNIVERSITY OF THE PHILIPPINES					